



LOWNDES COUNTY BOARD OF COMMISSIONERS
PROPOSED AGENDA
WORK SESSION, MONDAY, FEBRUARY 12, 2024, 8:30 AM
REGULAR SESSION, TUESDAY, FEBRUARY 13, 2024, 5:30 PM
327 N. Ashley Street - 2nd Floor

1. Call To Order

2. Invocation

3. Pledge Of Allegiance To The Flag

4. Minutes For Approval

- a. Work Session - January 22, 2024 & Regular Session - January 23, 2023

Recommended Action:

Documents:

5. Public Hearing

- a. REZ-2024-01 Gresham Event Venue, 8415 Old Valdosta Rd., E-A to PD-R, ~10.3 acres, Well & Septic

Recommended Action: Board's Pleasure

Documents:

- b. REZ-2024-02 Byrd Property, 3715 & 3725 Byrd Rd., E-A to R-1, ~7.5ac, Well & Septic

Recommended Action: Approve

Documents:

6. For Consideration

- a. Kinderlou-Clyattville Road Right of Way Purchases

Recommended Action: Approve

Documents:

- b. Briggston Road Paving and Drainage Improvements, P.I.0016275 Supplemental Agreement No. 1

Recommended Action: Approve

Documents:

- c. Acceptance of Infrastructure for Quarterman Estates Phase 4, Section 2

Recommended Action: Approve

Documents:

- d. Clyattville Tower Replacement

Recommended Action: Board's Pleasure

Documents:

7. Bid

- a. Bid to Repair Buildings at the 4-H Camp

Recommended Action: Option 1

Documents:

b. Bid to Repair the Governmental Building's Roof

Recommended Action: Option 1

Documents:

8. Reports - County Manager

9. Citizens Wishing To Be Heard - Please State Your Name and Address

10. Adjournment

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: REZ-2024-01 Gresham Event Venue, 8415 Old Valdosta Rd., E-A to PD-R, ~10.3 acres, Well & Septic

DATE OF MEETING: February 13, 2024

Work
Session/Regular
Session

BUDGET IMPACT: N/A

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: REZ-2024-01 Gresham Event Venue, 8415 Old Valdosta Rd., E-A to PD-R, ~10.3 acres, Well & Septic

HISTORY, FACTS AND ISSUES: This request represents a change in zoning on the subject property from E-A (Estate Agricultural) zoning to PD-R (Rural Planned Development) zoning. The general motivation in this case is for the applicant to utilize the property as a club, lodge, meeting or event facility, primarily for weddings, family reunions, birthday parties, corporate events, community gatherings, etc., with the ability to accommodate overnight guests. The subject property possesses road frontage on Old Valdosta Road and Salem Church Road, a collector and local road respectively, and is within the Rural Service Area and Agricultural/Forestry Character Area.

Aspects of this case worthy of consideration include: 1) The nature of the request as it pertains to a rural setting, 2) Current trends of event venues in rural areas, 3) Surrounding agricultural and clustered residential use of lands.

The TRC considered the request and is supportive of the following staff-recommended conditions:

1. Uses permitted in the Estate Agricultural (E-A) zoning district, and
 1. A club, lodge, meeting or event facility, with overnight accommodations, where the operation of the facility is limited to meetings, retreats, celebrations, and weddings for groups no larger than the fire code allows for the proposed buildings/area. Outdoor performances by bands or ensembles that are accessory to a meeting, retreat, celebration, or wedding shall be allowed.
 2. Unless otherwise noted on the Lowndes County Board of Commissioners approved site plan, the use of the property shall be subject to all standards applicable to properties in the E-A zoning district.
 3. The operation of the event facility shall adhere to the Lowndes County Noise Ordinance.
 4. Exterior lighting shall be shielded to avoid direct illumination of adjacent properties.

During the Greater Lowndes Planning Commission (GLPC) meeting, Mr. Holland noted the applicants' venue in neighboring Cook County as a comparable style and size to the proposed operation for this property, and

stated that while the site plan shows future buildings allowing flexibility in growth, there was no definitive timeline for their construction. Conversely, concerns were raised about the potential future growth of the venue and its maximum capacity, if the existing ingress/egress was sufficient to prevent traffic on Old Valdosta Road, and the ability to enforce the noise ordinance. A broader question was raised by the GLPC about how many venues were needed in the county, noting the four approved venues were already booked for the remainder of the year, while acknowledging that others were operating without proper authorization, one in particular in this same area. The GLPC motioned for approval with conditions initially, but the motion failed to pass (3-5); it was then motioned to table for six (6) months to allow a study committee to assess the need for more venues, again failing to pass (4-5). Ultimately, the GLPC made a motion to Deny which passed (5-3).

The following Occupant Loads and Square Footage of other rural event venues are listed below for reference:

Quail Branch – Occupant Load of 296; Total of 11,016 sf

Hallabrook Hill – Occupant Load of 214; Total of 4,812 sf

Fox Hill Plantation – Occupant Load of 250; Total of 5,258 sf

Highgrove Farms – Occupant Load of 467; Total of 5,428 sf (among 4 buildings, highest Occupancy of 250)

- OPTIONS: 1) Approve
2) Approve with Conditions
3) Table
4) Deny

RECOMMENDED ACTION: Board's Pleasure

DEPARTMENT: Planning/Zoning

DEPARTMENT HEAD: JD Dillard

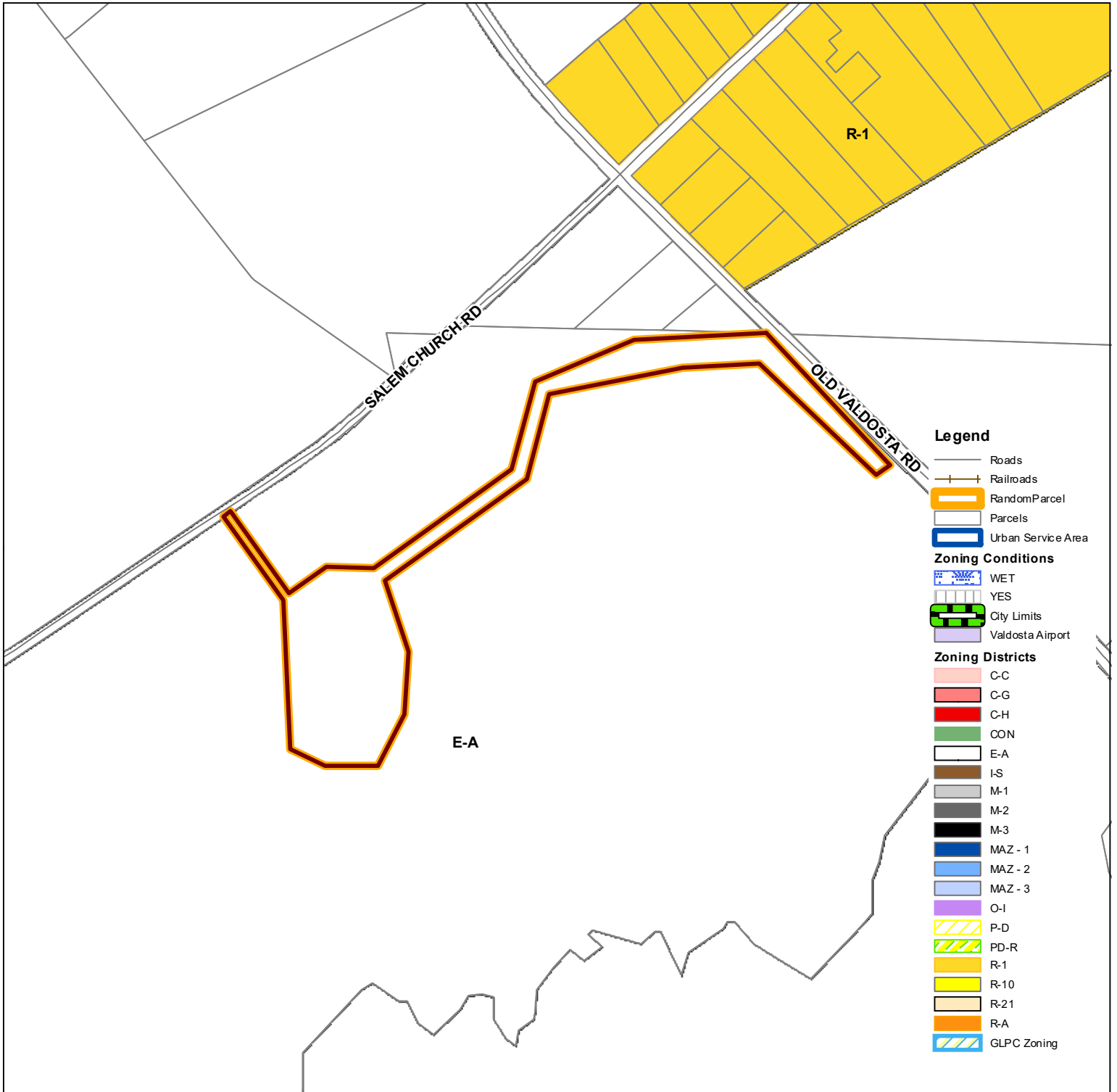
ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

REZ-2024-01

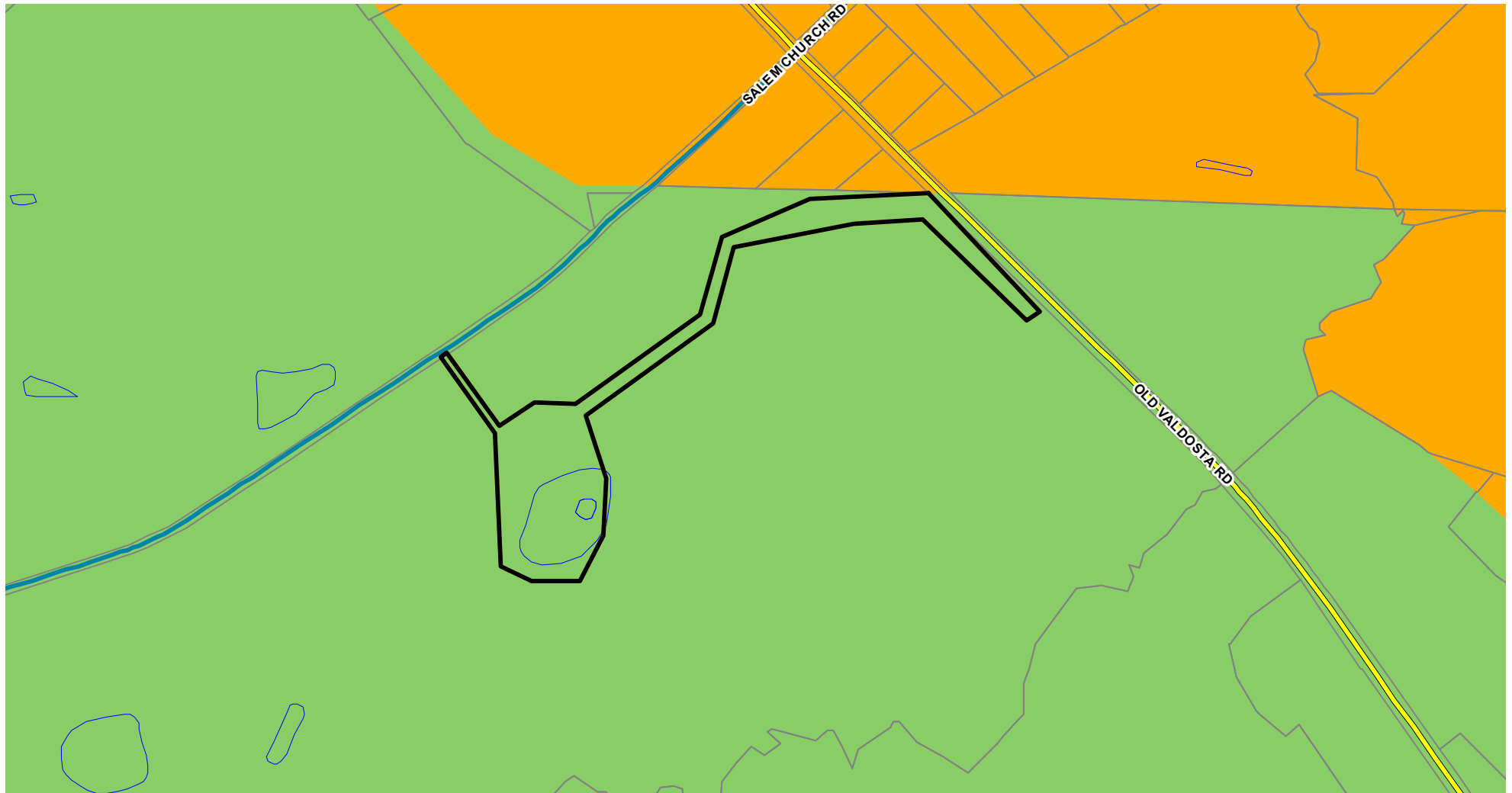
Zoning Location Map

Gresham Event Venue
Rezoning Request

CURRENT ZONING: E-A
PROPOSED ZONING: PD-R



Gresham Event Venue Rezoning Request



Roads

Functional Classification

- 1, INTERSTATE
- 3, OTHER PRINCIPAL ARTERIAL
- 4, MINOR ARTERIAL
- 5, MAJOR COLLECTOR
- 6, MINOR COLLECTOR
- 7, LOCAL
- Railroads

- Urban Service Area
- City Limits
- Parcels
- Open Water

- Agriculture / Forestry
- Community Activity Center
- Downtown
- Established Residential
- Industrial Activity Center
- Industrial Area
- Institutional Activity Center
- Linear Greenspace/Trails
- Mill Town
- Moody Activity Zone
- Neighborhood Activity Center
- Park/Recreation/Conservation
- Public / Institutional
- Regional Activity Center
- Remerton Neighborhood Village
- Rural Activity Center
- Rural Residential
- Suburban Area
- Transitional Neighborhood
- Transportation/Communication/Utilities

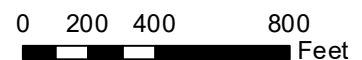
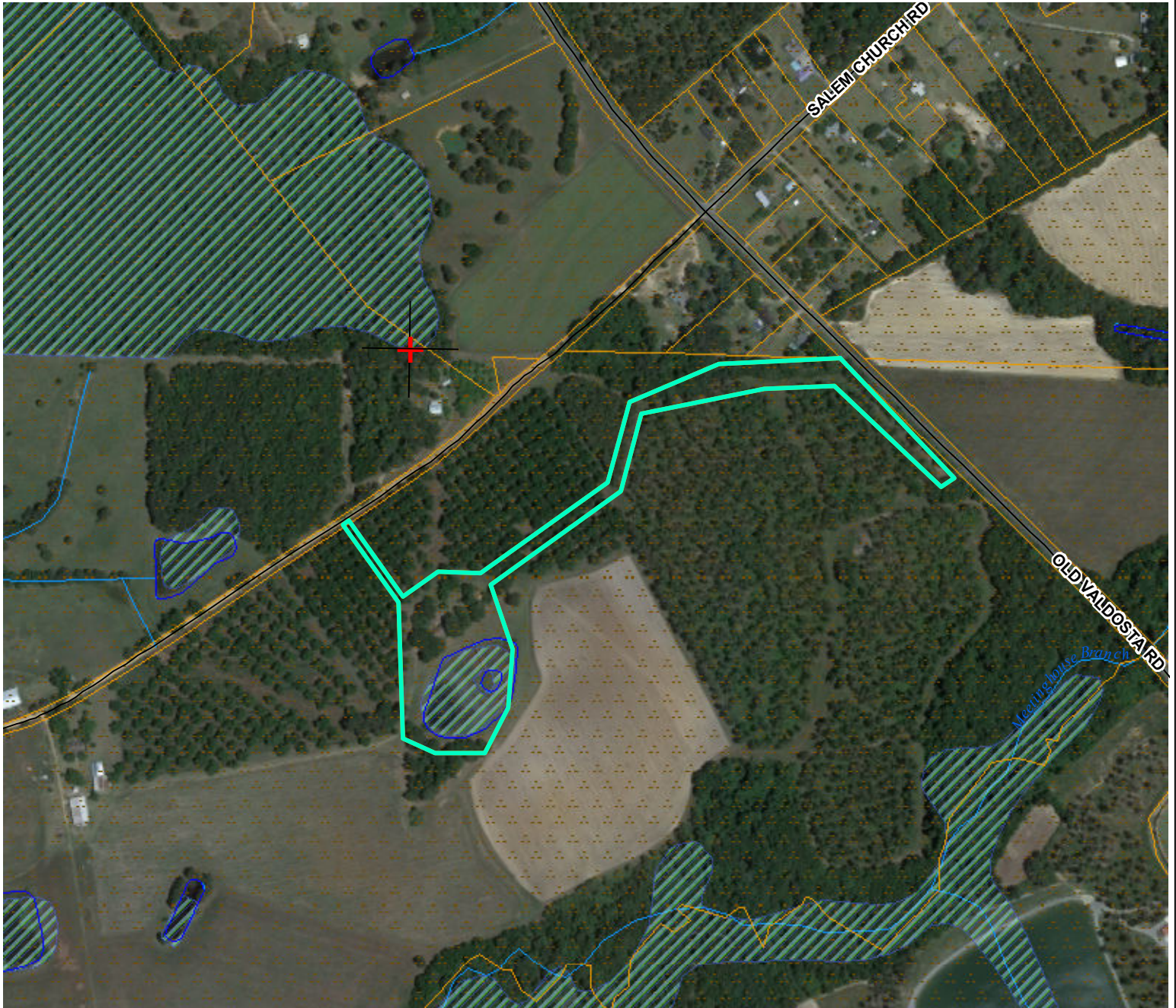
REZ-2024-01

WRPDO Site Map

Legend

- Roads
- Railroads
- Park
- City Limits
- Crashzone
- Crashzone West
- Urban Service Area
- Open Water
- Valdosta Airport
- Wetlands
- 100 Yr Flood
- Hydrology
- Drastic
- Recharge Areas
- Parcels

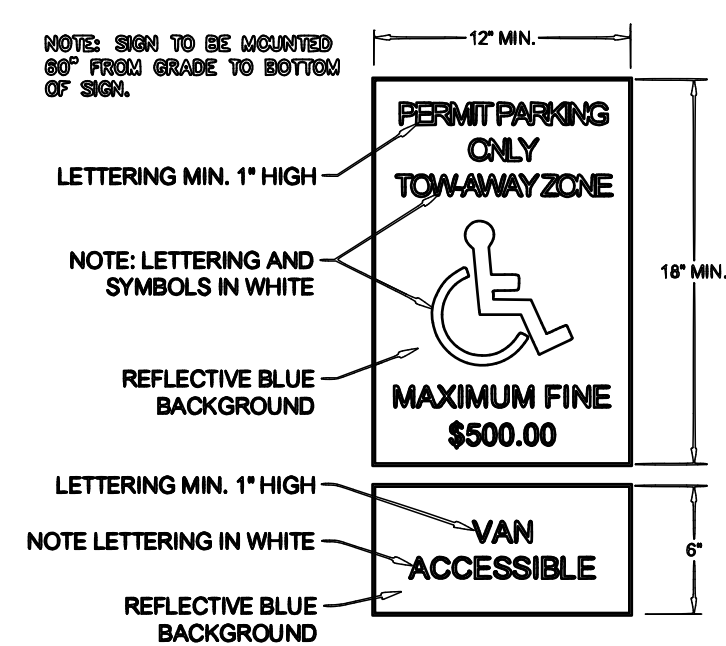
Gresham Event Venue Rezoning Request



GENERAL CONSTRUCTION NOTES:

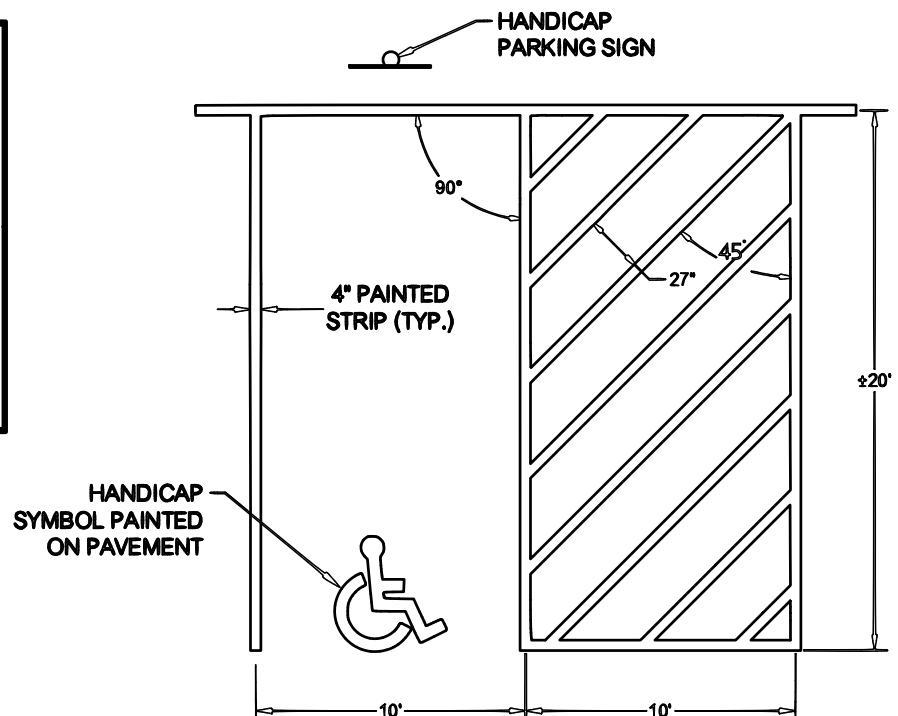
- UTILITIES SHOWN HEREON ARE BASED UPON ABOVE GROUND APPURTENANCES ONLY. UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO DESCRIPTION, LOCATION, OR ELEVATION. UTILITY FACILITIES, SUCH AS SERVICE LINES OR UNKNOWN FACILITIES, NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY UNDER TITLE 26, CHAPTER 9, OFFICIAL CODE OF GEORGIA ANNOTATED. VERIFY THE ELEVATIONS OF EXISTING PIPING, UTILITIES, AND ANY TYPE OF UNDERGROUND OR ENCASED OBSTRUCTION, NOT SPECIFICALLY INDICATED TO BE REMOVED, AS INDICATED OR DISCOVERED IN LOCATIONS TO BE TRAVERSED BY PIPING, DUCTS, AND OTHER WORK TO BE CONDUCTED OR INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WHILE UTILITIES ARE BEING RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM WORK PERFORMED BY THE CONTRACTOR. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO MINIMIZE ANY INTERRUPTION OF UTILITY SERVICE TO THE SURROUNDING RESIDENTS. CALL TOLL-FREE 1-800-282-7411, 72 HOURS PRIOR TO THE START OF WORK SO THAT EXISTING UNDERGROUND UTILITIES MAY BE LOCATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LAND OR PROPERTY BEYOND THE PROJECT CONSTRUCTION AREA, WHICH MAY BE SUBJECT TO ANY EFFECTS OR BY-PRODUCTS OF HIS CONSTRUCTION EFFORTS.
- DEMOLITION SHOWN IS A MINIMUM REQUIREMENT. ADDITIONAL DEMOLITION MAY BE REQUIRED TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND REPLACE ALL DAMAGED AND DISTURBED AREAS TO PRE-CONSTRUCTION CONDITIONS, OR BETTER, INCLUDING ALL PAVING, STABILIZED EARTH, SOIL, DRIVEWAYS, TREES, SIDEWALKS, CURBS, STORM SEWERS, ETC. WHERE APPLICABLE, THE SAME TYPE OF MATERIAL THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE USED. IN AREAS OF SIDEWALK AND CURB REMOVAL, REMOVE TO NEAREST JOINT. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS, CODES, ETC. CONTRACTOR MUST DISPOSE OF MATERIALS AT A DESTINATION APPROVED BY THE CONTRACTING OFFICER. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION.
- NO CONSTRUCTION SHALL COMMENCE UNTIL ALL APPLICABLE PERMITS AND REQUIRED EASEMENTS HAVE BEEN OBTAINED.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS AS REQUIRED BY LOWNDES COUNTY.
- UTILITY CONSTRUCTION MUST BE COMPLETED BY A GA LICENSED UTILITIES CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, SUPERVISING AND MAINTAINING ALL SAFETY PROGRAMS THROUGHOUT THE DURATION OF CONSTRUCTION. ALL BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF CONSTRUCTION. TRAFFIC CONTROL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- SAFE TRENCH CONSTRUCTION IS MANDATORY. ALL SLOPES SHALL BE LAID BACK OR SHORED AS NECESSARY.

- THE CONTRACTOR SHALL KEEP RECORDS OF WORK PERFORMED ON A DAILY BASIS. THE CONTRACTOR SHALL PROVIDE ADEQUATE OVERSIGHT AND MANAGEMENT FOR HIS CONSTRUCTION EFFORTS.
- COOPERATION AND COORDINATION BETWEEN ALL CONTRACTORS, UTILITY COMPANIES AND SUBCONTRACTORS ENGAGED IN THE WORK WITHIN AND ADJACENT TO THE CONSTRUCTION IS IMPORTANT FOR THE COMPLETION OF THIS PROJECT IN A TIMELY MANNER. IN THE CASE OF INTERFERENCE BETWEEN THE OPERATIONS OF THE DIFFERENT CONTRACTORS, UTILITY COMPANIES AND SUBCONTRACTORS, THE OWNER WILL BE THE SOLE JUDGE OF THE RIGHTS OF EACH AND THE SEQUENCE OF THE WORK NECESSARY TO EXPEDITE THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND LAWS OF LOCAL, MUNICIPAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. ALL PERMITS REQUIRED FOR CONSTRUCTION OPERATIONS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL SAW CUT EXISTING ASPHALT PAVEMENT AS REQUIRED TO PRODUCE A SMOOTH JOINT WITH NEW PAVEMENT.
- MAGNETIC DETECTION TAPE AND TRACER WIRE SHALL BE INSTALLED WITH THE PVC PIPE FOR EASE OF FUTURE LOCATION. ALL TRACER WIRE SHALL BE 14 GAUGE OR AS REQUIRED BY LOCAL CODE.
- THE CONTRACTOR SHALL REMOVE ONLY THOSE TREES AND SHRUBS DEEMED NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL USE CARE TO MINIMIZE DAMAGE TO THE ROOT SYSTEM OF ANY TREES AND SHRUBS NEAR THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- THE CONTRACTOR IS TO NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE BEGINNING OF EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY APPLICABLE UTILITY PROVIDERS AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION THAT MAY AFFECT THEM.
- THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, ADEQUATE AND SAFE ACCESS FOR ALL RESIDENTS AND/OR ADJOINING PROPERTY OWNERS DURING CONSTRUCTION.
- ALL CONCRETE WASHOUT SHALL BE COLLECTED BY THE CONTRACTOR ON-SITE AT AN AREA DESIGNATED BY THE OWNER FOR OFF-SITE DISPOSAL BY THE CONTRACTOR. WASHOUT SHALL BE MAINTAINED EITHER BY BERM OR BY WASHOUT PIT.
- ALL HAZARDOUS MATERIALS / WASTE SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
- SANITARY WASTE GENERATED FROM PORTABLE UNITS SHALL BE EMPTIED AS REQUIRED TO PROVIDE SANITARY CONDITIONS. ALL SANITARY WASTE DISPOSAL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS.
- CONTRACTOR SHALL REVIEW, PLAN AND SEQUENCE SITE GRADING AND THE INSTALLATION OF UNDERGROUND UTILITIES TO ENSURE PROPER INSTALLATION AND ELIMINATE POTENTIAL CONFLICTS.

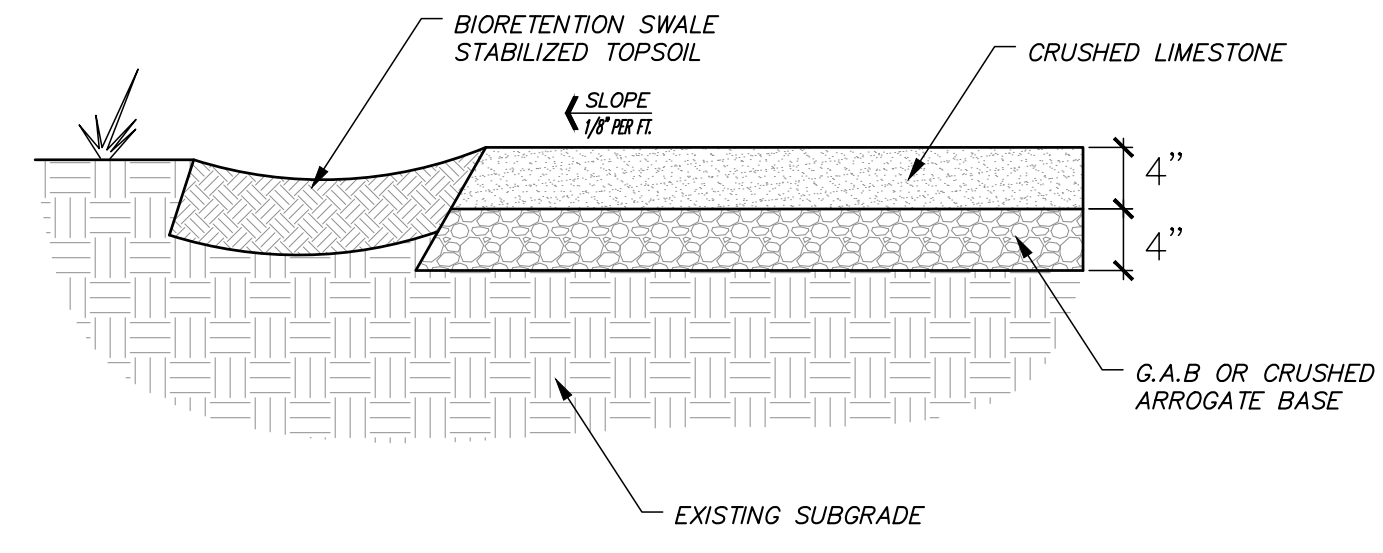


Van Accessible Sign Detail
Scale: N.T.S.

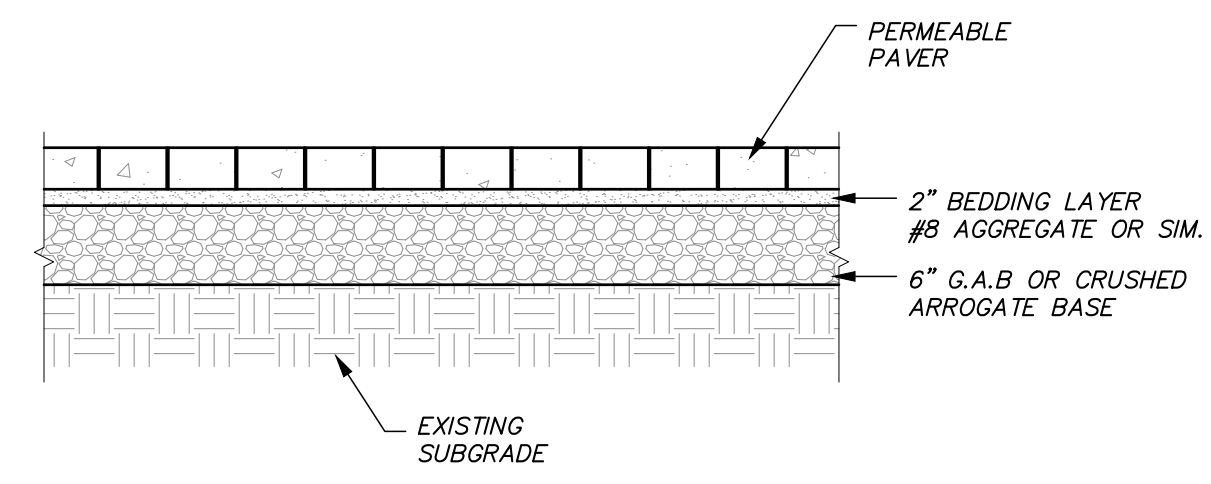
NOTE:
PAVEMENT MARKINGS SHALL COMPLY WITH GEORGIA DOT STANDARDS AND SPECIFICATIONS. ALL PARKING STALLS SHALL BE WHITE, NO PARKING AREAS YELLOW AND HANDICAP SPACES BLUE.



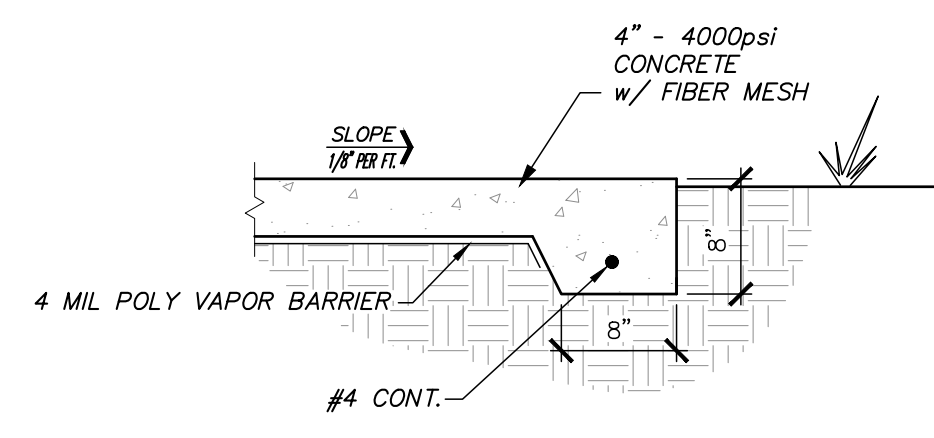
H/C Striping Detail
Scale: N.T.S.



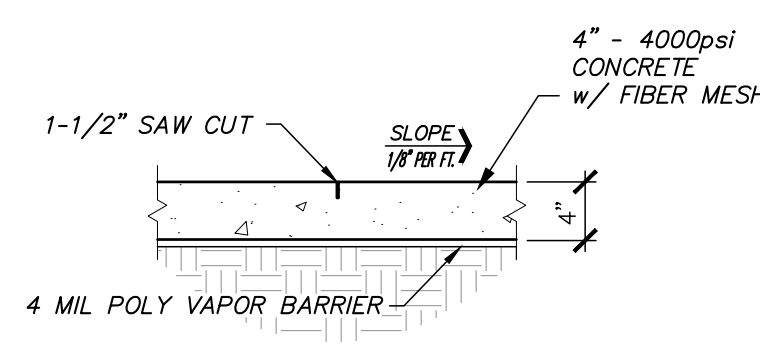
Crushed Limestone Parking Pad Detail
Scale: N.T.S.



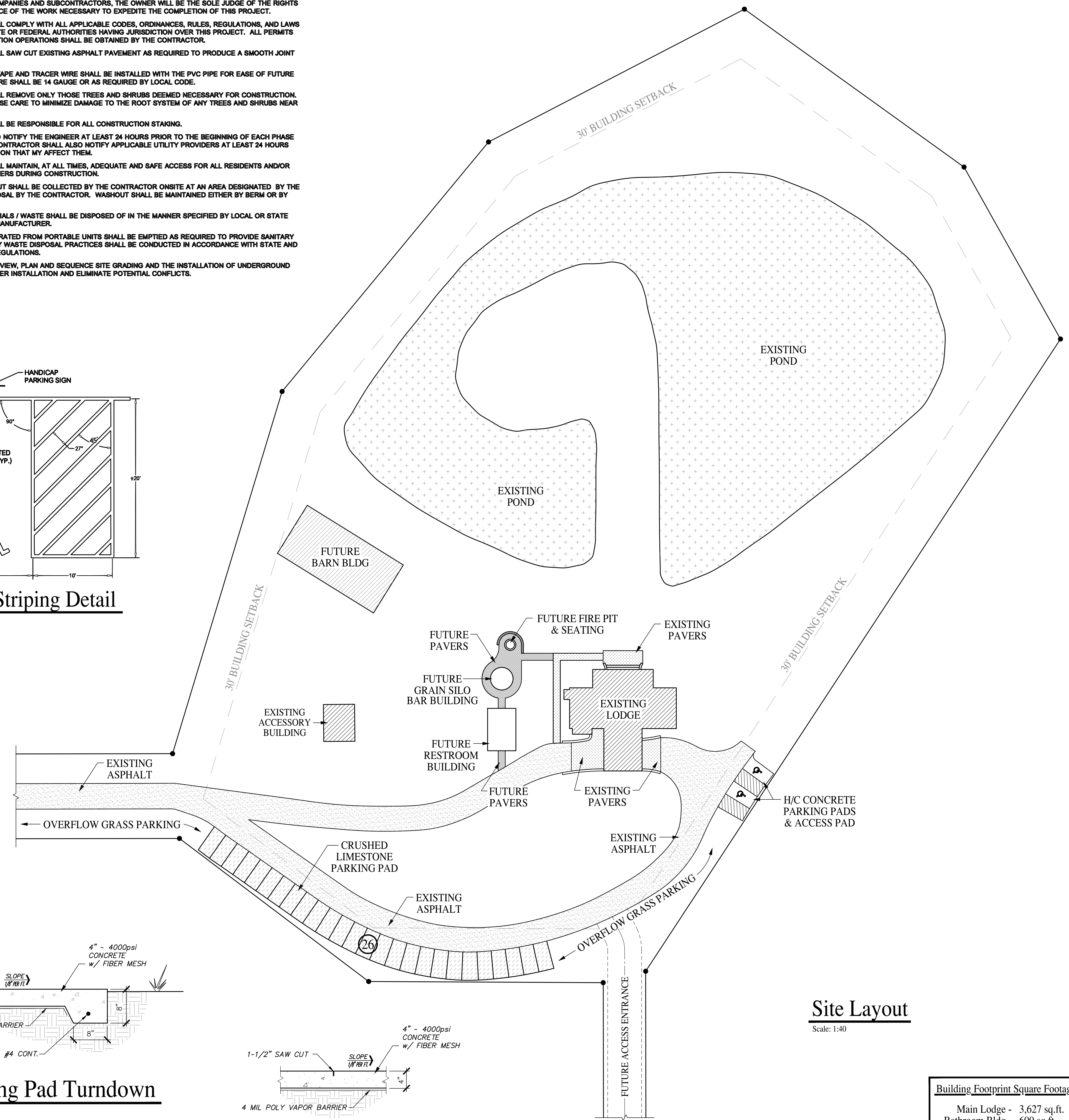
Pervious Paver Detail
Scale: N.T.S.



Parking Pad Turndown
Scale: N.T.S.



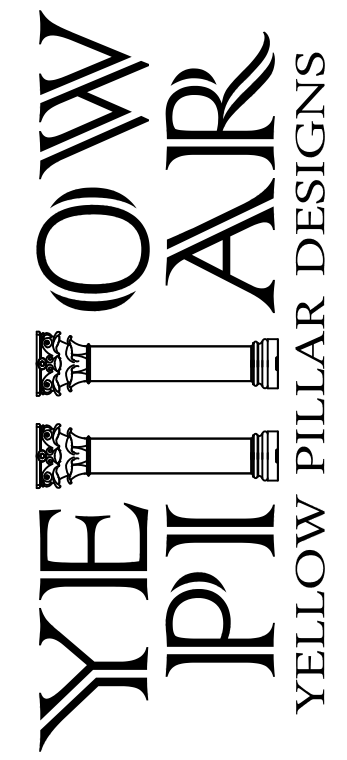
Saw Cut Detail
Scale: N.T.S.



Site Layout
Scale: 1:40

Building Footprint Square Footages	
Main Lodge	3,627 sq.ft.
Bathroom Bldg	600 sq.ft.
Silo Bar	201 sq.ft.
Storage Bldg	577 sq.ft.
Barn Bldg	3,200 sq.ft.

229-560-3062
Email: jhewett@yellowpillardesigns.com
Website: www.yellowpillardesigns.com



Site Layout
for
Oak Grove

DRAWN	JDH
CHECKED	JDH
JOB NUMBER	23-48
DATE	Dec. 19, 2023
REVISIONS	Jan. 4, 2023

DRAWING NUMBER
C-1.1
SHEET 1 OF 1

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED OR REUSED WITHOUT PERMISSION AND CREDIT.
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18 December 2023

Lowndes County Board of Commissioners
327 North Ashley Street
Valdosta GA 31601

Stan Folsom, GA RLS #2284
1309 Edgewood Drive
Valdosta GA 31601
Office: (229) 244-2920
folsom22@bellsouth.net

Re: Re-zoning of 10.36 Acres – Old Valdosta Road, Lowndes Tax Parcel 0008 087 for Gresham Event Venue.

Dear Commissioners;

On behalf of Mr. Tony Gresham, Folsom Surveying LLC submits this Letter of Intent to rezone 10.36 Acres near Hahira to **PD-R (Rural Planned Development)**. *This district is intended for the development of a combination of residential, office, and limited commercial uses. This district is established to encourage creative and resourceful projects that include compatible, interrelated uses and related public facilities unified by a development plan and tailored to a rural setting.* Mr. Gresham intends to establish an event venue, which is a permissible use subject to supplemental standards per ULDC Table of Land Uses 2.03.03.

It will be located off Old Valdosta Road, a collector road.

The site will provide a variety of benefits. It will fulfill a need in Hahira and Lowndes County for luxury accommodations for up to 16 guests (rented as one unit), act as meeting/gathering space for existing and prospective businesses based in the area, provide support space for existing event venues in the region, and attract guests from across the country to host their special events South Georgia.

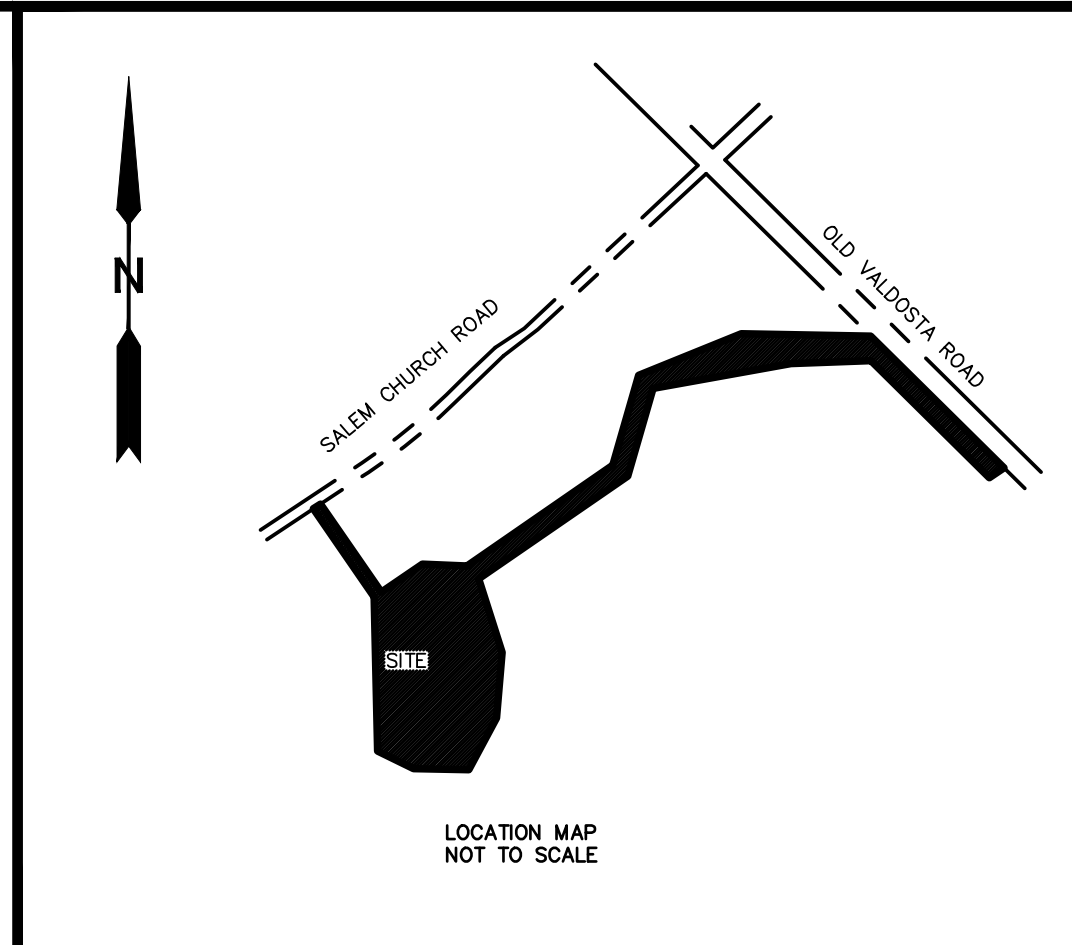
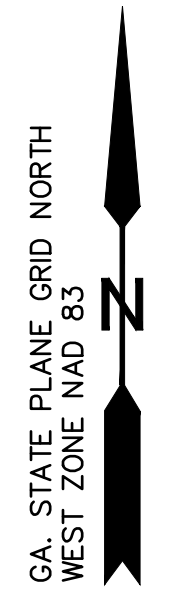
In summary, I feel that Mr. Gresham's proposed PD-R Zoning and planned Event Venue are compatible with the existing surrounding land use, and will benefit Hahira

Thank you for your consideration.

Sincerely;
Stan Folsom, GA RLS #2284

Folsom Surveying LLC – Land Surveying & Related Professional Services
1309 Edgewood Drive – Valdosta, GA 31601
Stan Folsom RLS #2284
Office Phone
229-244-2920
folsom22@bellsouth.net

RESERVED FOR THE CLERK OF THE SUPERIOR COURT



THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1" IN 17,674 WITH AN ANGLE ERROR OF 02 SECONDS PER ANGLE POINT. NO ADJUSTMENTS MADE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1' IN 2,130,408'.

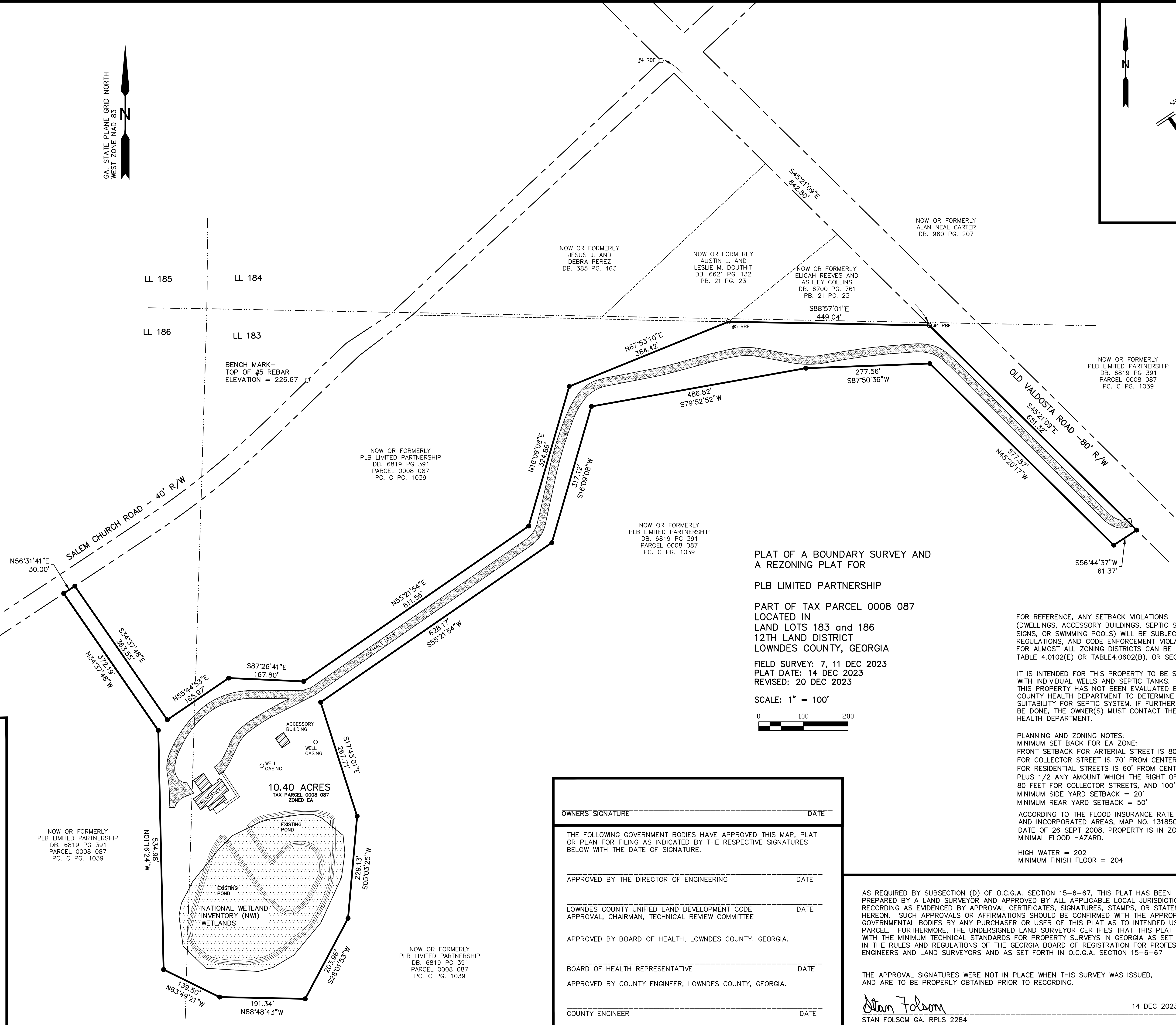
EQUIPMENT USED:
 GEOMAX ZOOM90 2" ROBOTIC TOTAL STATION AND 100' TAPE

JAVAD TRIUMPH - LS PLUS ROVER AND JAVAD TRIUMPH-3 BASE STATION

SOURCE OF TITLE DESCRIPTION:
 DEED BOOK 6918 PAGE 391
 GRANTEE: PLB LIMITED PARTNERSHIP

THIS SURVEY WAS MADE AT THE REQUEST OF PLB LIMITED PARTNERSHIP

LEGEND	
	POR POINT OF REFERENCE
	POB POINT OF BEGINNING
	NOT DRAWN TO SCALE
	PROPERTY BOUNDARY SURVEYED
	RIGHT OF WAY LINE
	LAND LOT LINE
	BARB WIRE FENCE
	WOVEN WIRE FENCE
	APPROXIMATE PROPERTY LINES
	REBAR CONCRETE REINFORCING ROD
	CMF CONCRETE MARKER FOUND
	RBF REBAR FOUND
	RBP REBAR PLACED
	R/W RIGHT OF WAY
	PB PLAT BOOK
	DB DEED BOOK
	PG PAGE
	PLAT CAB. PLAT CABINET
	LL LAND LOT
	A ARC LENGTH OF CURVE
	R RADIUS OF CURVE
	B CHORD BEARING
	C CHORD LENGTH
	DOT DEPARTMENT OF TRANSPORTATION
	AC ACRES
	● #5 REBAR PLACED WITH CAP NO. 2284
	△ COMPUTED ANGLE POINT - NO MARKER
	○ AS NOTED ON SURVEY
	□ CONCRETE MARKER FOUND
	◇ WOOD STAKE PLACED
	● #5 REBAR WITH CAP 2284 FOUND
	#5 RBF 5/8" RBF
	#4 RBF 1/2" RBF
	#3 RBF 3/8" RBF



PLAT OF A BOUNDARY SURVEY AND A REZONING PLAT FOR

PLB LIMITED PARTNERSHIP

PART OF TAX PARCEL 0008 087 LOCATED IN LAND LOTS 183 and 186 12TH LAND DISTRICT LOWNDES COUNTY, GEORGIA

FIELD SURVEY: 7, 11 DEC 2023
 PLAT DATE: 14 DEC 2023
 REVISED: 20 DEC 2023

SCALE: 1" = 100'

FOR REFERENCE, ANY SETBACK VIOLATIONS (DWELLINGS, ACCESSORY BUILDINGS, SEPTIC SYSTEMS, WELLS, SIGNS, OR SWIMMING POOLS) WILL BE SUBJECT TO ADDITIONAL REGULATIONS, AND CODE ENFORCEMENT VIOLATIONS, SETBACKS FOR ALMOST ALL ZONING DISTRICTS CAN BE FOUND IN TABLE 4.0102(E) OR TABLE 4.0602(B), OR SECTION 4.0603(D)

IT IS INTENDED FOR THIS PROPERTY TO BE SERVED WITH INDIVIDUAL WELLS AND SEPTIC TANKS. THIS PROPERTY HAS NOT BEEN EVALUATED BY THE LOWNDES COUNTY HEALTH DEPARTMENT TO DETERMINE THE SOIL SUITABILITY FOR SEPTIC SYSTEM. IF FURTHER DEVELOPMENT IS TO BE DONE, THE OWNER(S) MUST CONTACT THE LOWNDES COUNTY HEALTH DEPARTMENT.

PLANNING AND ZONING NOTES:
 MINIMUM SET BACK FOR EA ZONE:
 FRONT SETBACK FOR ARTERIAL STREET IS 80' FROM CENTERLINE OF RIGHT OF WAY
 FOR COLLECTOR STREETS IS 70' FROM CENTERLINE OF RIGHT OF WAY
 FOR RESIDENTIAL STREETS IS 60' FROM CENTERLINE OF RIGHT OF WAY
 PLUS 1/2 ANY AMOUNT WHICH THE RIGHT OF WAY EXCEEDS 60' FOR RESIDENTIAL STREET,
 80 FEET FOR COLLECTOR STREETS, AND 100' FOR ARTERIAL STREETS.
 MINIMUM SIDE YARD SETBACK = 20'
 MINIMUM REAR YARD SETBACK = 50'

ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR LOWNDES CO, GA AND INCORPORATED AREAS, MAP NO. 13185C0025E, WITH AN EFFECTIVE DATE OF 26 SEPT 2008, PROPERTY IS IN ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.

HIGH WATER = 202
 MINIMUM FINISH FLOOR = 204

OWNERS' SIGNATURE _____	DATE _____
THE FOLLOWING GOVERNMENT BODIES HAVE APPROVED THIS MAP, PLAT OR PLAN FOR FILING AS INDICATED BY THE RESPECTIVE SIGNATURES BELOW WITH THE DATE OF SIGNATURE.	
APPROVED BY THE DIRECTOR OF ENGINEERING _____	DATE _____
LOWNDES COUNTY UNIFIED LAND DEVELOPMENT CODE APPROVAL, CHAIRMAN, TECHNICAL REVIEW COMMITTEE _____	DATE _____
APPROVED BY BOARD OF HEALTH, LOWNDES COUNTY, GEORGIA. _____	DATE _____
BOARD OF HEALTH REPRESENTATIVE _____	DATE _____
APPROVED BY COUNTY ENGINEER, LOWNDES COUNTY, GEORGIA. _____	DATE _____
COUNTY ENGINEER _____	DATE _____

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67

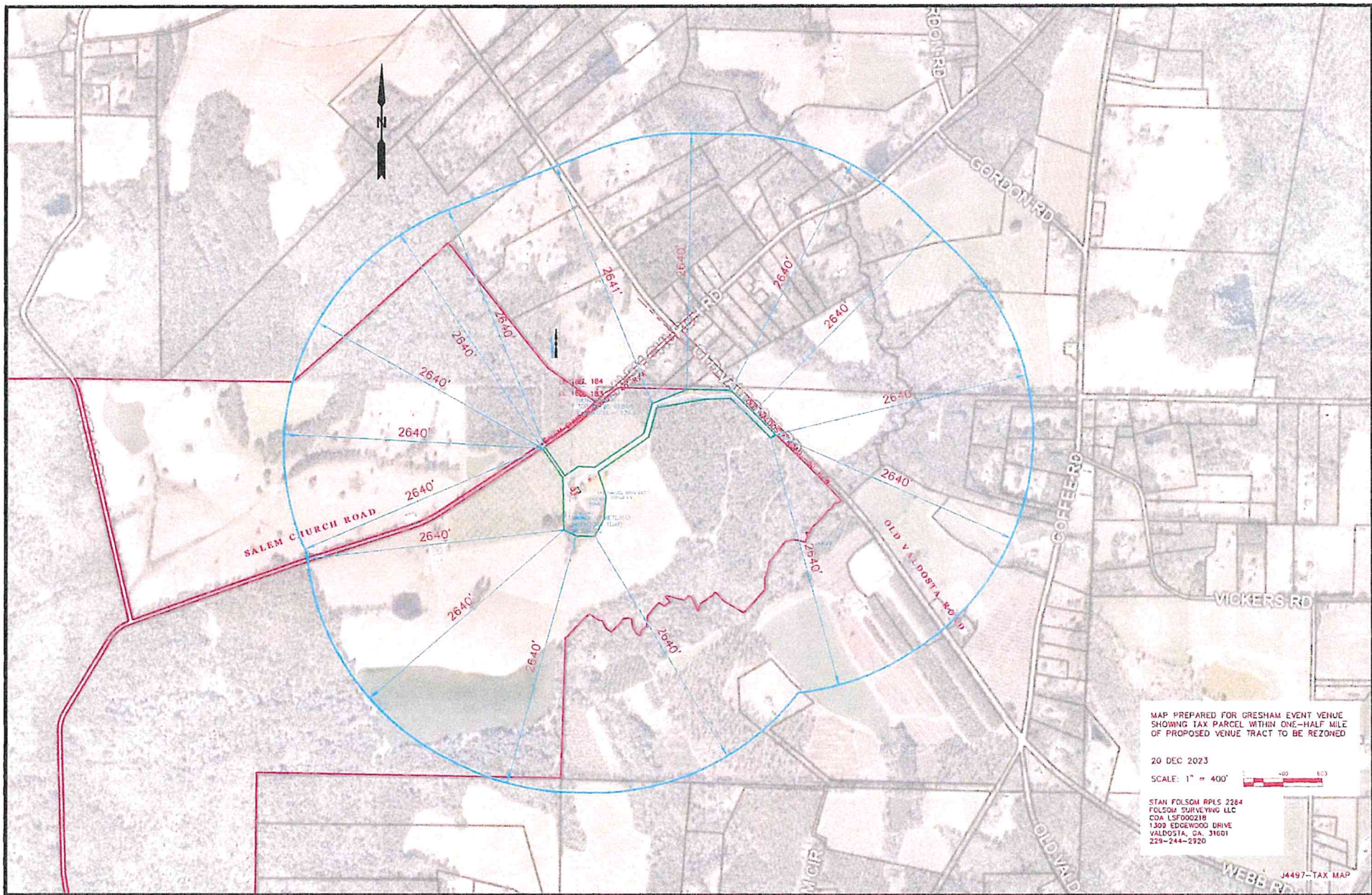
THE APPROVAL SIGNATURES WERE NOT IN PLACE WHEN THIS SURVEY WAS ISSUED, AND ARE TO BE PROPERLY OBTAINED PRIOR TO RECORDING.

Stan Folsom
 STAN FOLSOM GA. RPLS 2284

14 DEC 2023
 DATE



STAN FOLSOM RPLS 2284
 FOLSOM SURVEYING LLC
 COA LSF000218
 1309 EDGEWOOD DRIVE
 VALDOSTA, GA. 31601
 229-244-2920



MAP PREPARED FOR GRESHAM EVENT VENUE
 SHOWING TAX PARCEL WITHIN ONE-HALF MILE
 OF PROPOSED VENUE TRACT TO BE REZONED

20 DEC 2023

SCALE: 1" = 400'

STAN FOLSOM RP/S 2284
 FOLSOM SURVEYING LLC
 CO. LSF000218
 1309 EDGEWOOD DRIVE
 VALDOSTA, GA. 31601
 229-244-2920

J4497-TAX MAP

To: Lowndes County Board of Commissioners

From: Richard A. Stalvey

Subject: Public Hearing: Case No. REZ-2024-01: Scheduled for February 13, 2024: 5:30 PM

Date: February 3, 2024

PURPOSE OF THIS DISCUSSION DOCUMENT

As normal, the application request for rezoning was submitted by the party(ies) to the Greater Lowndes Planning Commission and Mr. J. D. Dillard as County Planner. The application was considered and as I understand it, customary due diligence procedures were conducted. The application was submitted for consideration at the Planning Commission meeting on January 29, 2024 and, as I understand it, was denied. The public hearing is to be held during the Board of Commissioners meeting scheduled for February 13, 2024. The purpose of this discussion is to give some additional information that I believe may be informative to you prior to voting. Since I have no knowledge of how much finite detail filters down to you in advance of your vote, I am providing some of that finite information here which may be duplicative.

BACKGROUND

The rezoning application was submitted on behalf of the owners of the property located in the Northwest section of Lowndes County consisting of 1,252.61 acres, generally near the intersection of Webb Road (Old Valdosta Highway) and Salem Church Road. The property was purchased on August 10, 2021 by the Gresham Family in the name of PLB Limited Partnership. The rezoning request is for an area consisting of 10.4 acres of the total tract. While I do not have a copy of the application and any supporting documents, I was advised by telephone with a Planning Commission staff person that the rezoning request was to accommodate a project described as an “event venue” and would include a lodging facility that would accommodate up to **sixteen guests**.

While the rezoning request affects only the 10.4 acres of the total tract, the business activities (ie, hunting) will likely encompass the entire tract. When discussing this with Planning Commission staff, it was pointed out that hunting is already allowed on the entire tract. This is very true, but it will go from hunting by family and close friends to a broader commercial hunting operation to generate a revenue stream.

This is the same property owner that petitioned to have a portion of Salem Church Road and Wells Road closed in October 2021, which was denied.

FURTHER DETAIL

The Gresham Family also has tracts of land in Cook County (ten miles or less away from their Lowndes County property just off the Barney-Adel Highway). These properties are owned in the entity known as The Gresham Family Limited Partnership. On one large tract of land, the Gresham Family is operating a business in the name of Live Oak Plantation with an address of 675 Plantation Road, Adel, GA 31620. The operation has an excellent website that is accessible simply by “googling” “Live Oak Plantation”. By doing so, one can read about the operation of Live Oak Plantation, which I would encourage you to do. However, in very brief form, some of the offerings are described, in part, as The South’s Premier Sporting Destination, The Lodge (which will accommodate up to **sixteen guests**), The Cabin, Quail Hunting, Pheasant Hunting, Skeet Shooting, Hunting Rates, Fish, Golf and Conference Center.

I suspect that the project as described under “Background” above is not as encompassing as what the actual project may become. I believe that one has only to review the Live Oak Plantation website to get a flavor of what the actual project will become or I will be glad to provide you a printed copy upon request.

The properties in Cook County and Lowndes County have tax assessor addresses on file in Suwanee, GA and Stockbridge, GA. This suggests that the properties are owned by absentee owners/investors and are not full-time residents of the area.

MY CONCERN

I would like to first characterize my concern as to a more limited area than Lowndes County overall, but rather to focus on the area that I would define as bounded on the East by I-75, the South by Highway 122, the West by the Little River/Brooks County line and the North by the Cook County line. With minute exception, this entire area is zoned E-A (Estate Agricultural District) (5 Acre). The Lowndes County Unified Land Development Code, Zoning Districts and Uses, Chapter 2, paragraph 2.01.02, item "A" provides the description of zoning Code E-A as follows: This district is intended to provide for agricultural activities, including those related to crops, livestock, and timber, protected from the effects of suburban residential development. Single-family homes, and specified accessory structures and uses are permissible.

The project proposed does not meet the criteria of Code E-A. Thus, a special privileged exception to the rule is being requested. Whether it is couched in the form of a rezoning, a variance or an exception, I see it as an exception to the rule, that is grossly unfair to the citizens, taxpayers, owners, workers and residents of the area, most of whom have been here most of their lives and have relied on the protection of Code E-A as expressed in the Lowndes County Unified Land Development Code and the Greater Lowndes Comprehensive Plan.

To grant this exception, would, in my opinion, establish a precedent for all future rezoning requests of this nature. In short order, this entire area of the county could go from E-A to PD-R with very little effort, because just a few property owners control almost the entire area. I am listing the major ones below:

- Salem United Methodist Church and members
- SOD Revocable Trust (Stephen Drew)
- Berkley Mackey (Lost Corner, LLC)
- Stalvey Family
- Larry Webb
- Langdale Family
- Neal Carter
- PLB Limited Partnership
- Killgore Farms, LLC
- Folsom Family
- Sonny Taylor Family
- Little River Farms of Hahira, LLC
- Gene Webb Family
- Barfield Family
- Acree Investments
- Fulp Family
- Cowart Family

CONCLUSION

The proposed rezoning and described project do not directly affect me as my personal property (that is directly owned by me in the subject area) is not contiguous to the PLB property. My concern is that approving the rezoning request will soon change the character of the entire area and diminish the confidence we thought we had through the Unified Land Development Code. I recommend the Commissioners follow the lead of the Planning Commission and deny the request.

Hello,

I am Justin Coleman, and reside within your district, at 9129 Coffee Rd. Hahira. As you may be aware, an application for a zone change for a parcel of land off of Old Valdosta Rd. is to be taken up by the Planning Commission this Monday evening, 01/29/24. The request is submitted in order to permit operation of a wedding venue and corporate retreat. The residents in the immediate vicinity are more than just anxious about this potential development.

In the recent ~18 months the same residents were strongly opposed to permitting development of a proposed 20 lot subdivision on Miller Bridge Rd. We felt that permitting such development would set precedent for POSSIBLE further development of other parcels within that region of the county (using the example of growth along the Val Del corridor as precisely what we were trying to prevent). As you recall, the neighborhood residents prevailed and the development was

disallowed. Relative to our new and current threat, **I mention the Miller Bridge case only because the opposition to that proposed development was based solely on what COULD happen if the precedent was set.** Obviously, no resident could predict whether our fears would actually be borne out, resulting in a fundamental change in look & feel of this rural area.

However, our concern with the current proposed commercial venue is based not on fear of the unknown or *potential* harm, but on what has already happened and continues in this very area. I am referring to the Fox Ridge wedding venue on Miller Rd.. It is regarded as a scourge for every residence within earshot of the amplified music emanating from the site each weekend, during the temperate seasons of fall and spring. Initially I was ambivalent about the potential of such an operation so close to my home (< 1 mile) thinking it may not be so bad. This was chiefly because I have no experience as to how well amplified music travels. Having talked to residents in the immediate vicinity of Fox Ridge and hearing the passion of their pique about having their tranquility be-spoiled, quickly crystallized my stance on the matter. For those residents, what was formerly an idyllic bucolic setting to enjoy the soft night sounds or simple quiet has been taken away for someone else's financial gain. The primary reason of the majority for dwelling out in the country should not be dismissed for a minority interest.

Now residents at a distance of less than 2 miles to the east of Fox Ridge find ourselves under the exact threat. Again, not a *potential* threat, but an expansion of the very existing menace. There are already two wedding venues in this relatively small geographic area. Additionally, this applicant (Mr. Gresham) operates another wedding venue on the Live Oak plantation in south Cook County, a driving distance

of less than 15 minutes from the current proposed venue. Increasing the cluster of such enterprise to 4 only serves the interests of the operator, **at the expense of your constituents.**

Our neighborhood resistance group will meet again very soon. I will notify you of the date and time and hope you to attend in order to hear more specifics of our concerns.

Thank you for your time in consideration. Hope to see you soon,
Justin Coleman - Old Valdosta Rd. wedding venue resistance group.

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: REZ-2024-02 Byrd Property, 3715 & 3725 Byrd Rd., E-A to R-1, ~7.5ac,
Well & Septic

DATE OF MEETING: February 13, 2024

Work Session/Regular
Session

BUDGET IMPACT: N/A

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: REZ-2024-02 Byrd Property, 3715 & 3725 Byrd Rd., E-A to R-1, ~7.5ac, Well & Septic

HISTORY, FACTS AND ISSUES: This request represents a change in zoning on the subject property from E-A (Estate Agricultural) zoning to R-1 (Low Density Residential) zoning. The general motivation in this case is for the applicant to subdivide the property into conforming lots for individual residences. The subject property possesses road frontage on Byrd Road, a locally maintained County Road, and is within the Rural Service Area and Agricultural/Forestry Character Area.

The subject property was created in 1969, and the two existing houses have historical construction dates of 1971, which predate the County's adoption of subdivision regulations in 1972, including the awareness of setbacks.

The neighboring properties along the northeast side of Byrd Road were rezoned in 1996 from A-U (Agricultural Use) to S-A (Suburban Agricultural), and then subdivided for the applicant's children; in essence, a precursor to Family Ties. These lots range in size from 1.86ac to 3.86ac in size.

Based on the survey, R-1 would allow for the creation of five (5) lots that meet County standards, including the separation of the existing homes onto individual lots. While not a condition for rezoning, it is worth noting that twelve and a half (12.5) feet should be reserved for future right-of-way for any widening/paving of Byrd Road, which might impact the overall lot sizes.

While R-1 is not recommended by the Comprehensive Plan in this area, it does state that "residential subdivisions should be severely limited and any minor exceptions should be required to follow a rural cluster zoning or conservation subdivision design." The TRC reviewed the request and had no technical objections, noting that the unique shape of the property coupled with the requirements for individual well and septic systems naturally limits the overall development. Therefore, staff recommends approval of the request for R-1 zoning.

The GLPC heard the request at their regular meeting, along with comments from the applicant about his renovations to the existing houses and plans to sell the lots based on market demand, and having no

opposition to the request, recommend unanimous Approval (8-0).

Minimum Lot Width and Area with Individual Well Water for R-A is 150' on 2.5ac and for R-1 is 120' on 1.0ac
Byrd Rd., Old State Rd., and Black Rd., traffic counts average ~45 Vehicles Per Day

- OPTIONS: 1) Approve
2) Approve with Conditions
3) Table
4) Deny

RECOMMENDED ACTION: Approve

DEPARTMENT: Planning/Zoning

DEPARTMENT HEAD: JD Dillard

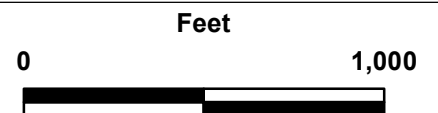
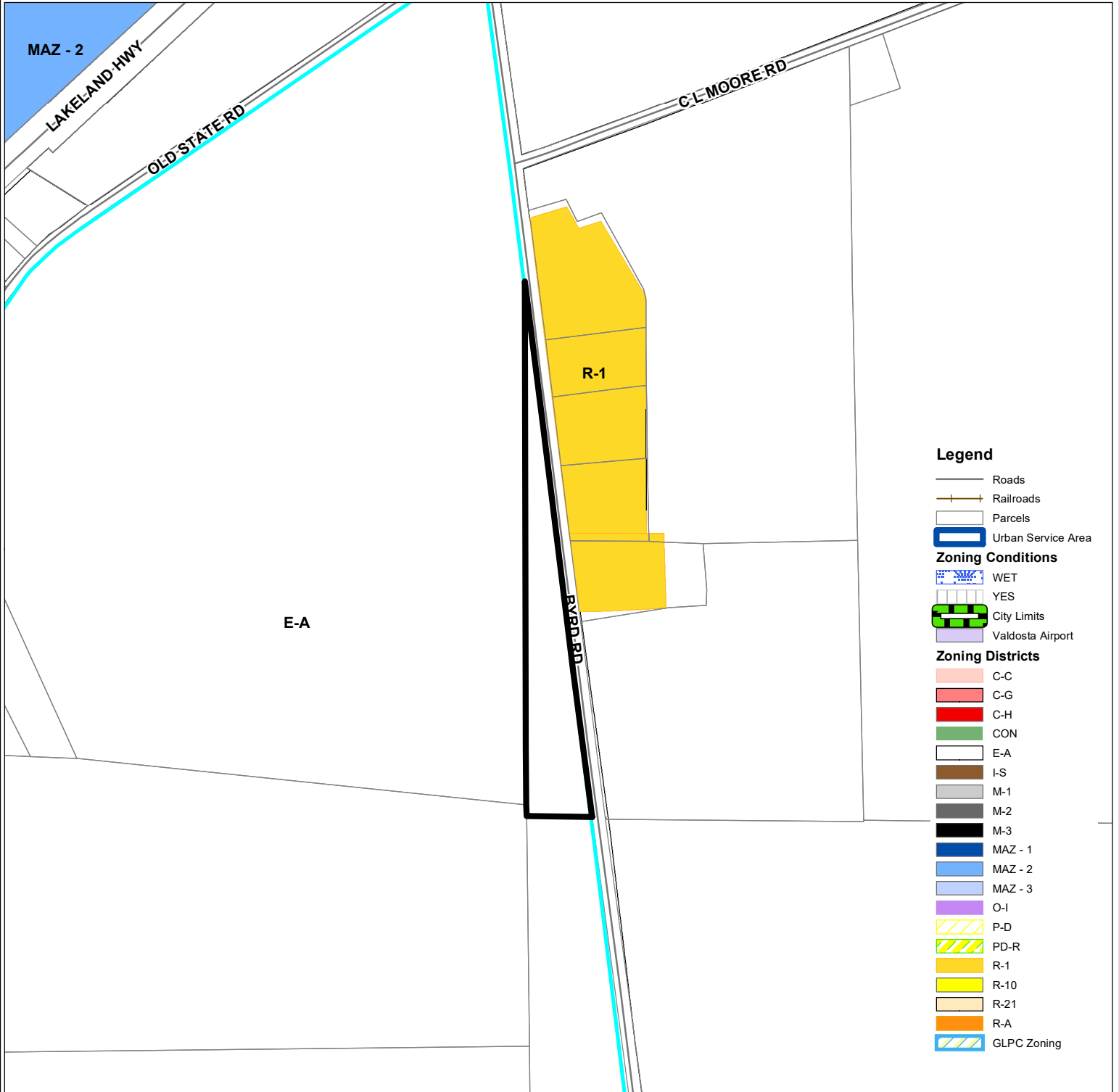
ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

REZ-2024-02

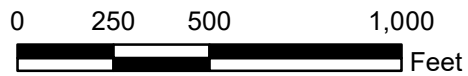
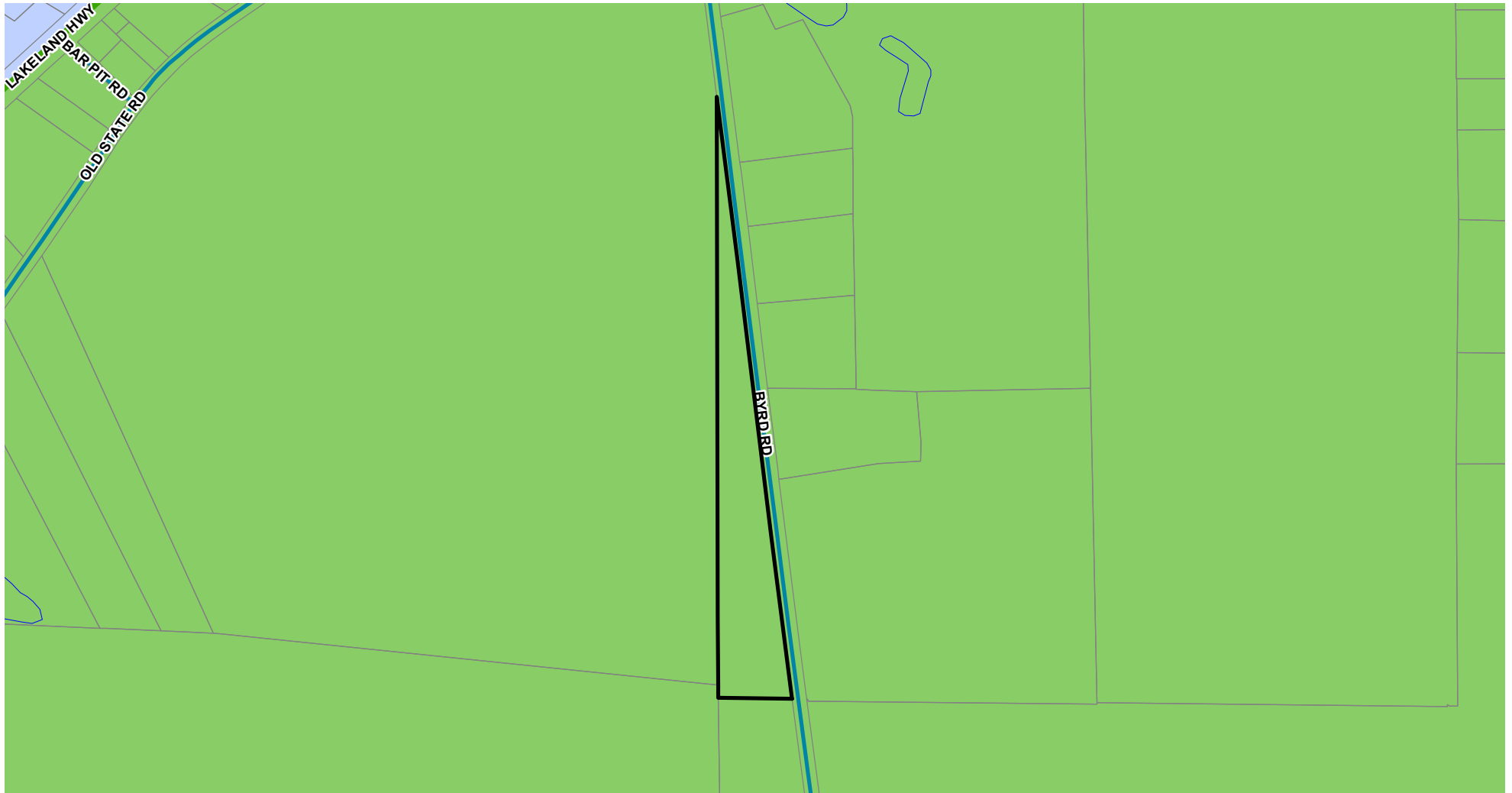
Zoning Location Map

Byrd Road Project
Rezoning Request

CURRENT ZONING: E-A
PROPOSED ZONING: R-1



Byrd Road Project Rezoning Request



Roads

Functional Classification

- 1, INTERSTATE
- 3, OTHER PRINCIPAL ARTERIAL
- 4, MINOR ARTERIAL
- 5, MAJOR COLLECTOR
- 6, MINOR COLLECTOR
- 7, LOCAL
- Railroads

- Urban Service Area
- City Limits
- Parcels
- Open Water

- Agriculture / Forestry
- Community Activity Center
- Downtown
- Established Residential
- Industrial Activity Center
- Industrial Area
- Institutional Activity Center
- Linear Greenspace/Trails
- Mill Town
- Moody Activity Zone
- Neighborhood Activity Center
- Park/Recreation/Conservation
- Public / Institutional
- Regional Activity Center
- Remerton Neighborhood Village
- Rural Activity Center
- Rural Residential
- Suburban Area
- Transitional Neighborhood
- Transportation/Communication/Utilities

REZ-2024-02

WRPDO Site Map

Legend

- | | |
|----------------------|--------------------|
| — Roads | □ Open Water |
| — Railroads | ▒ Valdosta Airport |
| ▒ Park | ▨ Wetlands |
| ▣ City Limits | ▒ 100 Yr Flood |
| ● Crashzone | — Hydrology |
| ○ Crashzone West | ⋯ Drastic |
| ▒ Urban Service Area | ▒ Recharge Areas |
| | ▒ Parcels |

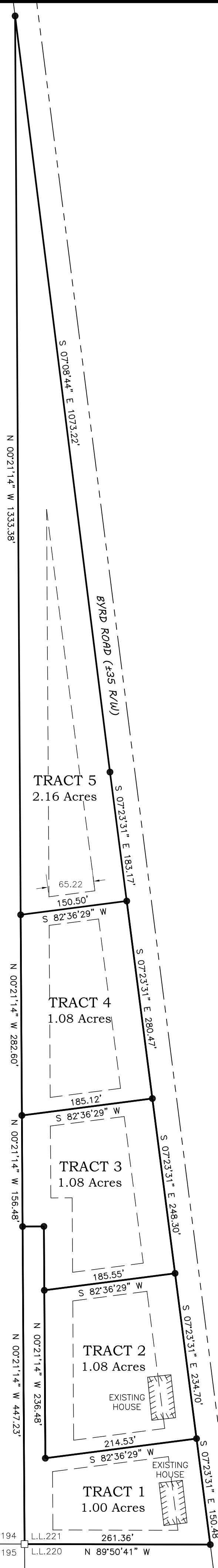
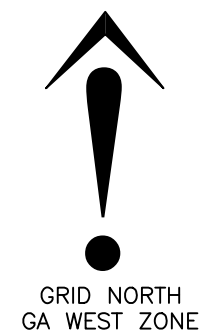
Byrd Road Project Rezoning Request



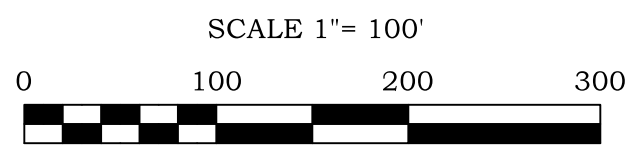
To whom it may concern;

It is with great pleasure that I present this project before all committees associated with the Lowndes County Board of Commissioners. With the approval of all required committees the intent for this project will be to rezone this parcel located at 3715 Byrd Rd (0212 001) to R-1 and divide this 7.5 acre lot into three separate parcels. After doing so the two existing houses will be fully renovated and sold to a homeowner, and not used for rental property. The new additional third lot will be used to build a new residential home similar in size and elevation to the existing two. This new construction home will also be sold to a homebuyer as well and not used for rental purposes. After thoroughly reviewing the Lowndes County Comprehensive Plan I believe this project aligns perfectly with the character area and comprehensive plan currently in place. The rezoning to R-1 also carries well with the surrounding parcels and does not appear to be spot zoning. I believe this plan will also benefit the comprehensive plan for many purposes such as education, tax improvements, and much needed housing opportunities in this area of the county. I believe this project, if approved, will be a great asset and benefit to Lowndes County and will likely encourage growth, development, and continued improvements for the surrounding areas. Neighboring properties should impact directly as well, with the renovation of two abandoned (eye sore) dwellings and a new construction home to follow, encouraging more growth and infrastructure to the area, all of which will be positive influences. All around I believe this project will positively impact the Greater Lowndes county and all of the surrounding land and home owners for this area. I hope that the committee finds this project in their favor to approve this request.

Thanks,
Tripp Talley



LOCATED IN
LAND LOT 221
11TH LAND DISTRICT
LOWNDES COUNTY, GA
PLAT DATE: 1/12/2024
PROPOSED ZONING: R-1
CURRENT ZONING: E-A



INNOVATE
Engineering & Surveying

PHONE: 229-249-9113 www.innovatees.com
2214 N. Patterson Street, Valdosta, GA 31602

REZONING MAP FOR:
TRIPP TALLEY

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: Kinderlou-Clyattville Road Right of Way Purchases

DATE OF MEETING: February 13, 2024

Work Session/Regular Session

BUDGET IMPACT: \$274,765.00

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: Kinderlou-Clyattville Road Right of Way Purchases

HISTORY, FACTS AND ISSUES: Staff has negotiated the purchase of the Right of Way (ROW) for Parcels 1-2, 6A-43 for the Kinderlou-Clyattville Road TSPLOST project. The attached detailed schedule identifies the property, the grantor, and the purchase price for each parcel.

OPTIONS: 1. Approve the acquisitions from the listed grantors of the identified properties for the purchase price for each property, as set forth in the attached detailed schedule.
2. Redirect.

RECOMMENDED ACTION: Approve

DEPARTMENT: Engineering

DEPARTMENT HEAD: Chad McLeod

ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

Kinderlou-Clyattville Rd. TSPLOST Project
Detailed Schedule re: Acquisitions of Parcels
List of Parcels for 2/13/24 BoC Meeting

Parcel	Grantor	Total Purchase Price
1	Geraldine Allbritton	\$ 3,421.00
2	Stephen D. Zipperer and Ivey Zipperer	\$ 1,628.00
6A	Reames Family LLLP	\$ 718.00
6B	Reames Family LLLP	\$ 2,450.00
7	Reames Family LLLP	\$ 2,048.00
8	Dorothy C. Cambridge	\$ 552.00
9	Erma Jean McCoggle	\$ 500.00
10	Reames Family LLLP	\$ 11,340.00
11	Feed My Sheep Miniistries, Inc.	\$ 500.00
12	Reames Family LLLP	\$ 13,902.00
13	Darrell Scott Stewart, Jr.	\$ 2,802.00
13A	David Lee and Heidi Renee Kelehar	\$ 2,049.00
14	Shawn D. and Renee E. Tyson	\$ 2,414.00
15	Maria annd Aalejandro Zapata	\$ 13,107.00
16	Mary Kate Hitchcock	\$ 4,000.00
17	CMH Family Farm LLP	\$ 3,000.00
18	Claude Robert Blanton, Jr. and Laura S. Blanton	\$ 900.00
19	Claude Robert Blanton, III	\$ 2,723.00
20	Joshua Clinton Jackson and Melissa Blanton Jackson	\$ 5,445.00
21	Charles Cowart	\$ 1,283.00
22	Charles Cowart	\$ 2,393.00
23	Cowart & Son Development Co. Inc.	\$ 1,043.00
24	Charles Cowart	\$ 900.00
25	Barbara Chaney Moore	\$ 1,445.00
26	Robert and Glenda Bryant	\$ 1,468.00
27	William E. Richardson	\$ -
28	Charles Cowart	\$ 585.00
29	Charles Cowart	\$ 563.00
30	Cowart & Son Development Co. Inc.	\$ 500.00
31	Charles Cowart	\$ 6,234.00
32	Reames Family LLLP	\$ 9,366.00
33	Lance E. Lehman	\$ 1,708.00
34	Reames Family LLLP	\$ 2,699.00
35	Reames Family LLLP	\$ 136,925.00
36	John Grayson and Cassandra Grayson	\$ 9,000.00
37	Dorothy Cambridge	\$ 1,192.00
38	Reames Family LLLP	\$ 981.00
39	Reames Family LLLP	\$ 1,440.00
40	Reames Family LLLP	\$ 3,041.00
41	Robert Harley Langdale	\$ -
42	William K. Barrett	\$ 1,500.00
43	H. Merita Z. Humphrey and Varina Z. Felts	\$ 17,000.00

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: Briggston Road Paving and Drainage Improvements, P.I.0016275
Supplemental Agreement No. 1

DATE OF MEETING: February 13, 2024

Work Session/Regular
Session

BUDGET IMPACT: \$1,115,000.00

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: Briggston Road Paving and Drainage Improvements Supplemental Agreement

HISTORY, FACTS AND ISSUES: The original agreement dated 03/14/2021 with the Georgia Department of Transportation has a "not to exceed amount" of \$2,525,000.00 for the Briggston Road Paving and Drainage Improvements. Staff asked the TIA office for an additional funding request to cover the cost difference between the actual cost of the project and the agreement amount, of which is \$1,114,709.16. After reviewing the initial TIA budget, bid amount, and projected tax collections for TIA, the TIA office has agreed to provide additional funds of \$1,115,000.00 to cover the total cost of the project.

OPTIONS: 1. Approve the Supplemental Agreement No. 1 and authorize the Chairman to sign the agreement.
2. Redirect.

RECOMMENDED ACTION: Approve

DEPARTMENT: Engineering

DEPARTMENT HEAD: Chad McLeod

ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

Lowndes County
Board of Commissioners
Bill Slaughter, Chairman



Joyce E. Evans, District 1
Scott Orenstein, District 2
Mark Wisenbaker, District 3
Demarcus Marshall, Ph.D. District 4
Clay Griner, District 5

Post Office Box 1349 • Valdosta, GA 31603-1349 • Phone (229) 671-2400 • Fax (229) 245-5222

January 17, 2024

Brent Moseley
TIA Regional Coordinator
204 N Highway 301
Jesup, GA 31546

RE: Additional Funding Request for Briggston Road – PI-0016275

Brent,

Lowndes County is requesting additional funding assistance for the Briggston Road Grading, Base, Drainage and Paving Project, PI-0016275. The total cost of the road construction project is \$2,611,309.00 with an additional \$438,537.00 for the installation of the railroad crossing for a total construction cost of \$3,049,846.00. We currently have \$2,115,000 in funding allocated towards construction. Finally, we have a final invoice for Preliminary Engineering for \$179,863.16. Therefore, the construction deficit is \$934,846.00, nearly half of this deficit is from the cost for the railroad crossing which was an unexpected cost for the project, plus the PE overage for a total deficit of \$1,114,709.16.

We just recently finalized the Old US 41 widening project and had a surplus balance of \$463,128.93. We are requesting that the surplus balance from the Old US 41 project be transferred to the Briggston Project as well as inflation funding be added to the project in order to cover the deficit caused due to the unexpected cost for the railroad crossing and the inflation of construction.

Thank you for your assistance in this matter. If you need any additional information regarding this matter, please let me know.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Michael Fletcher", is written over a series of horizontal lines.

Michael Fletcher, P.E.
Lowndes County Engineer



Russell R. McMurry, P.E., Commissioner
One Georgia Center
600 West Peachtree NW
Atlanta, GA 30308
(404) 631-1990 Main Office

January 18, 2024

Mr. Michael Fletcher, County Engineer
Lowndes County
327 North Ashley Street
Valdosta, GA 31601

**SUBJECT: PI# 0016275, SGRC-114, Briggston Road
CID# IGTIA2101054
Additional TIA Funds**

Mr. Fletcher:

The Department is in response to your letter dated January 17, 2024 requesting additional TIA funds due to inflation for the above referenced project. After review of the projects initial TIA budget, bid amount, and projected tax collections for TIA, the TIA Office has agreed to provide additional TIA funds to the TIA budget which will result in the following TIA budget revisions:

PI #	Project	Original TIA Budget	Additional TIA Funds	Revised TIA Budget
0016275	Briggston Road Paving and Drainage Improvements	\$2,525,000.00	\$1,115,000.00	\$3,640,000.00

A Supplemental Agreement to revise the TIA funding will be submitted to the County for execution. Items reimbursed by TIA will be limited to items needed to complete the original project scope.

Should you have any questions, or need additional information, please contact Brent Moseley at 912-530-4391 or by email at bmosley@dot.ga.gov .

Sincerely,

Kenneth Franks,
State TIA Administrator

KKF:BAM

Cc: Dan Bodycomb, TIA Program Manager
George Brewer, TIA Project Manager
Bobby Adams, TIA Procurement Administrator
Project File



SUPPLEMENTAL AGREEMENT NO. 1

By and Between

THE GEORGIA DEPARTMENT OF TRANSPORTATION

and

LOWNDES COUNTY

This Agreement, made and entered into as of _____, by and between the GEORGIA DEPARTMENT OF TRANSPORTATION, an agency of the State of Georgia, hereinafter referred to as the "DEPARTMENT", and LOWNDES COUNTY, GEORGIA, acting by and through its Mayor and City Council or Board of Commissioners, as the case may be, hereinafter referred to as the "LOCAL GOVERNMENT".

WHEREAS, the DEPARTMENT and the LOCAL GOVERNMENT heretofore on March 14, 2021, entered into an Agreement, hereinafter called the "Original Contract", for the purpose of having the LOCAL GOVERNMENT provide all or part of the Construction, Maintenance, and Operation of the following projects:

1) Briggston Road Paving and Drainage Improvements, P.I. 0016275

hereinafter individually referred to as "PROJECT" and collectively referred to as "PROJECTS"; and

WHEREAS, the parties wish to amend said Agreement Amount due to a need for changing the funding of the PROJECTS; and

WHEREAS the DEPARTMENT and the LOCAL GOVERNMENT agree that the changes may be accomplished within the term of the original contract.

NOW, THEREFORE, THE PARTIES HERETO mutually agree that for and in consideration of the mutual benefits to flow from each to the other, the Original Contract, dated March 14, 2021, is hereby modified as follows:

1. The first paragraph of Subsection C in ARTICLE VI, COMPENSATION AND PAYMENT is deleted in its entirety and the following is inserted in lieu thereof:

"It is understood and agreed that the total cost of the PROJECT is the amount established in the Approved Investment List plus any additional funds added with the approval of the DEPARTMENT. This cost or BUDGET ESTIMATE, as shown below, is the maximum amount of TIA PROCEEDS that can be made available for the PROJECT, contingent upon the provisions set forth herein. The BUDGET ESTIMATE shall include any claims by the LOCAL GOVERNMENT for all costs incurred by the LOCAL GOVERNMENT in the conduct of the entire scope of work for the PROJECT. The LOCAL GOVERNMENT shall be solely responsible for any and all amounts in excess of the BUDGET ESTIMATE or for amounts not available from TIA PROCEEDS."

2. Item numbered 1) following the second paragraph of Subsection C in ARTICLE VI, COMPENSATION AND PAYMENT is deleted in its entirety and the following is inserted in lieu thereof:

"1) Briggston Road Paving and Drainage Improvements, P.I. 0016275: THREE MILLION SIX HUNDRED FORTY THOUSAND DOLLARS AND ZERO CENTS (\$3,640,000.00)"

3. All terms and conditions of the Original Contract, dated March 14, 2021, shall remain in full force and effect, except as modified, changed, or amended by this Supplemental Agreement Number 1.

Contract ID:

This Agreement may be executed in any number of counterparts, each of which so executed shall be deemed to be an original, and such counterparts shall together constitute but one and the same Agreement. The parties shall be entitled to sign and transmit an electronic signature of this Agreement (whether by facsimile, PDF, or other email transmission), which signature shall be binding on the party whose name is contained therein. Any party providing an electronic signature agrees to promptly execute and deliver to the other parties an original signed Agreement upon request.

IN WITNESS WHEREOF, the parties have hereunto set their hands and affixed their seals the day and date herein above written.

DEPARTMENT OF TRANSPORTATION

LOWNDES COUNTY, GEORGIA

Commissioner

Signature

Date

[Seal]

Printed Name/Title

[Affix Seal Here]

ATTEST:

ATTEST:

I attest to the genuineness of the Seal, and I further attest that the above named officer is duly authorized to execute this document.

Treasurer

Signature

Date

Printed Name/Title

Federal Employer Identification Number

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: Acceptance of Infrastructure for Quarterman Estates Phase 4,
Section 2

DATE OF MEETING: February 13, 2024

Work Session/Regular Session

BUDGET IMPACT: N/A

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: Acceptance of Quarterman Estates Phase 4 Section 2

HISTORY, FACTS AND ISSUES: Quarterman Estates Subdivision Phase 4, Section 2 is located in the southern portion of Lowndes County, off of White Water Road and includes 33 lots. Engineering and Utilities staff have made the final inspections of the construction. All construction and paperwork have been completed.

OPTIONS: 1. Adopt the Resolution accepting Infrastructure for Quarterman Estates Subdivision Phase 4,
Section 2.
2. Redirect

RECOMMENDED ACTION: Approve

DEPARTMENT: Engineering

DEPARTMENT HEAD: Chad McLeod

ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

January 29, 2024

Mike Fletcher


Lowndes County Engineer

Lowndes County Board of Commissioners

Valdosta, Ga.

This is a request that Lowndes County Commission accept the infrastructure of Phase 4B, Quarterman Estates, LLC. This includes paved streets, storm ditches, water and sanitary sewer systems.

Quarterman Estates

A handwritten signature in cursive script, appearing to read "William Q Touchton Jr.", written in black ink.

William Q Touchton Jr.

Member/Manager

GENERAL NOTES

EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A SOKKIA IX 503 TOTAL STATION W/TOPCON FC5000 DATA COLLECTOR AND A CARLSON BRX6 GNSS BASE AND ROVER W/ CARLSON FC5000

GPS WAS USED FOR THE CONTROL NETWORK FOR THIS SURVEY.

THE BASIS OF BEARINGS IS GA WEST NAD83.

DATE OF FIELD WORK: 2-2-2023

DATE OF PLAT: 1-30-2024

THE PURPOSE OF THIS PLAT IS TO PROVIDE A SUBDIVISION SURVEY OF A PORTION OF THAT PROPERTY DESCRIBED IN DEED BOOK 3446 PG 165 OF LOWNDES COUNTY COURTHOUSE RECORDS SHOWING QUARTERMAN ESTATES, LLC AS THE GRANTEE, AND REVISE THE MINIMUM FINISHED FLOOR ELEVATION AND ADD A 10' DRAINAGE EASMENT TO LOT 61 PREVIOUSLY RECORDED IN PC C PAGE 1515 (LOWNDES COUNTY OFFICIAL RECORDS).

THE SUBJECT PROPERTY IS A PORTION OF PARCEL NUMBER 0136 127A.

GENERAL NOTES

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES THAT ARE NOT SHOWN.

THIS PROPERTY IS CURRENTLY ZONED "R-10" ACCORDING TO LOWNDES COUNTY TAX MAPS.

R-10
BUILDING SETBACKS
FRONT - 60' FROM CL OF R/W (80% FOR CORNER LOTS)
SIDE - 10 FEET
REAR - 30 FEET

ACCORDING TO A REVIEW OF THE FEMA FLOOD INSURANCE RATE MAP FOR LOWNDES COUNTY, MAP NUMBER 13185C0325E, DATED 9-26-2008, ALL TRACTS ARE ZONED "X" WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN.

ELEVATION NOTE FOR LOTS ADJACENT TO WETLANDS:
100 YR HIGH WATER ELEVATION IS 170.47' AS ESTABLISHED BY PACE INC. AND 12 STONES ENGINEERING SHEET C 2.0 DATED 10-27-22.

THIS SURVEY IS NOT VALID UNLESS ALL SIGNATURES FROM LOCAL GOVERNMENT BODIES ARE PRESENT.

CLOSURE STATEMENT

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A RELATIVE POSITIONAL ACCURACY OF LESS THAN 0.10' AT THE 95% CONFIDENCE INTERVAL. THE FIELD DATA WAS COLLECTED USING A CARLSON BRX6 DUAL FREQUENCY RECEIVER.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1' IN 282,264'.

GENERAL NOTES

TOTAL LOTS FOR PHASE 2: 33
TOTAL AREA INCLUDING LOTS AND RIGHT OF WAYS: 19.85 ACRES
TOTAL AREA IN RIGHT OF WAYS: 2.87 ACRES
TOTAL AREA IN LOTS: 16.98 ACRES

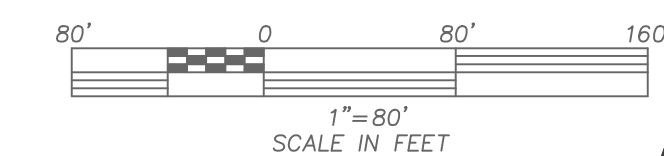
UTILITIES ARE PROVIDED BY LOWNDES COUNTY WATER AND LOWNDES COUNTY SEWER.

THERE IS A 10' UTILITY EASEMENT RESERVED FOR THE FRONT OF EACH LOT.

BENCHMARKS ARE CAPPED IRON PINS SET AT FRONT PROPERTY CORNERS. ELEVATIONS LISTED ARE TOP OF CAPPED IRON PIN ELEVATION DATUM IS (NAVD 88)

REVISED MINIMUM FINISHED FLOOR ELEVATIONS FOR LOTS 16-38 AND 51-61 PROVIDED BY 12 STONES ENGINEERING, INC. ON JANUARY 26, 2023.

PLAT FOR REVIEW 1/30/24
JESSE N. BUSH II, P.E. DATE



LEGEND

- FFE - FINISHED FLOOR ELEVATION
- IPF - IRON PIN FOUND
- R/W - RIGHT OF WAY
- PP - POWER POLE
- B.M. - BENCHMARK
- ⊙ = 5/8" IRON PIN SET W/ CAP #3469

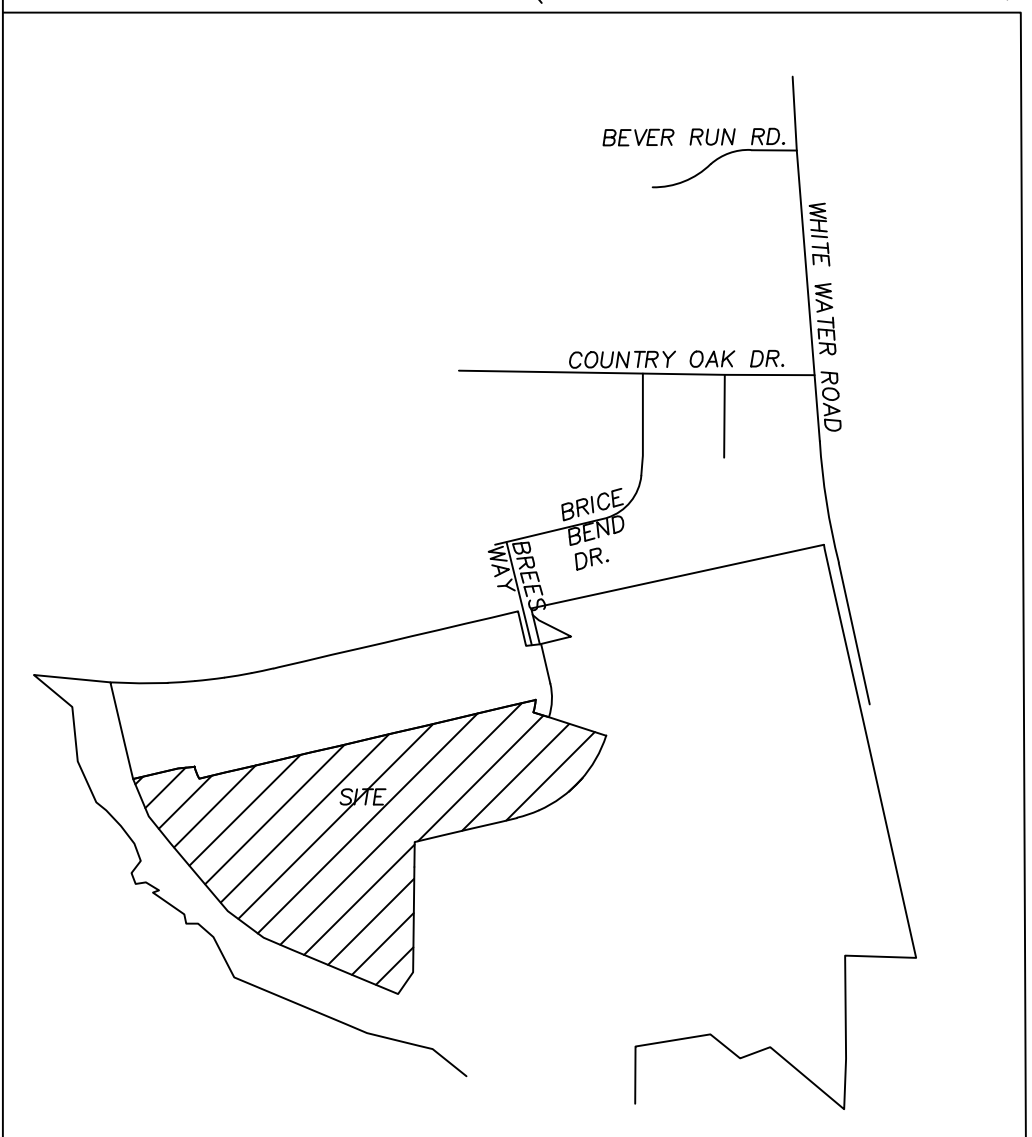
GENERAL NOTES

- FOR ALL LOTS IN NEW SUBDIVISIONS, THE HOUSES SHOULD BE AT AN ELEVATION THAT ESTABLISHES A MINIMUM GRADE FROM THE FOUNDATION OF THE HOUSE SLOPING AWAY FROM THE HOUSE A MINIMUM OF 6 INCHES OVER 10 FEET.
- FOR ALL NEWLY PLATTED LOTS THAT ARE ADJACENT TO WETLANDS, FLOODPLAIN, DRAINAGE DITCHES, DETENTION PONDS, OR ANY AREAS FORMERLY DELINEATED AS ANY OF THE ABOVE, THE FOLLOWING SHALL BE PROVIDED:
 - A BENCHMARK SHALL BE ESTABLISHED AT THE FRONT PROPERTY CORNER FOR EVERY LOT.
 - A HIGH WATER MARK OR HYDROLOGIC ANALYSIS SHALL BE REQUIRED TO ESTABLISH THE 100- YEAR FLOOD ELEVATION FOR THE LOT.
 - A MINIMUM FINISHED FLOOR ELEVATION SHALL BE ESTABLISHED FOR THE LOT AT A MINIMUM OF TWO (2) FEET ABOVE THE ESTABLISHED 100- YEAR FLOOD ELEVATION FOR THE LOT.
 - PRIOR TO ANY INSPECTIONS BEING PERFORMED AND SIGNED-OFF ON, A REGISTERED LAND SURVEYOR SHALL CERTIFY THAT THE PROPOSED FINISHED FLOOR OF THE BUILDING IS AT OR ABOVE THE MINIMUM FINISHED FLOOR ELEVATION ESTABLISHED ON THE FINAL PLAT.
 - A MINIMUM OF TWO (2) SOIL BORINGS, ONE ON EACH SIDE OF THE PROPOSED FOUNDATION OF THE BUILDING, SHALL BE PROVIDED TO DETERMINE THE SEASONAL HIGH WATER TABLE.
 - IF THE SEASONAL HIGH WATER TABLE IS LESS THAN ONE (1) FOOT FROM THE BOTTOM OF THE FOOTER ELEVATION, A SUBSURFACE DRAINAGE SYSTEM IS REQUIRED TO BE INSTALLED. THIS SYSTEM SHALL BE DESIGNED BY THE PROFESSIONAL ENGINEER.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	170.00	46.90	46.75	S 21°04'05" E	15°48'26"
C2	170.00	33.34	33.29	S 34°35'24" E	11°14'12"
C3	20.00	31.42	28.28	S 85°12'30" E	90°00'00"
C4	230.00	90.69	90.11	N 85°32'21" E	22°35'33"
C5	170.00	175.24	167.59	N 47°18'14" E	59°03'48"
C6	170.00	46.25	46.11	N 09°58'43" E	15°35'14"
C7	230.00	124.19	122.68	S 02°18'14" W	30°56'19"
C8	230.00	97.05	96.33	S 29°51'37" W	24°10'33"
C9	230.00	97.05	96.33	S 54°02'09" W	24°10'33"
C10	230.00	43.00	42.94	S 21°28'47" W	10°42'42"
C11	170.00	56.42	56.16	S 67°19'40" W	19°00'56"
C12	170.00	23.82	23.80	S 53°48'21" W	8°01'42"
C13	20.00	31.42	28.28	S 04°47'30" W	90°00'00"
C14	170.00	120.64	120.33	S 52°06'45" E	23°48'30"
C15	170.00	10.07	10.07	S 85°42'51" E	3°23'42"
C16	60.00	108.80	94.49	S 75°27'53" E	10°53'39"
C17	60.00	94.30	84.89	S 21°50'25" W	90°02'56"
C18	60.00	111.06	95.87	N 60°28'24" W	10°03'24"
C19	230.00	94.45	93.78	N 53°08'06" W	23°31'40"
C20	230.00	4.67	4.67	N 40°47'23" W	1°09'46"
C21	230.00	126.91	28.30	N 36°51'22" W	6°42'16"
C22	230.00	81.65	81.22	N 23°20'03" W	20°20'22"
C23	45.00	18.70	18.56	S 52°06'45" E	23°48'30"
C24	45.00	2.67	2.67	S 65°42'51" E	3°23'42"
C25	450.00	84.13	84.01	N 71°28'47" E	10°42'42"
C26	450.00	189.88	188.47	N 54°02'09" E	24°10'33"
C27	450.00	189.88	188.47	N 29°51'37" E	24°10'33"
C28	450.00	142.98	240.04	N 02°18'14" E	30°56'19"
C29	230.00	117.87	17.86	N 02°01'02" E	4°27'05"
C30	230.00	10.09	10.09	N 66°09'19" W	2°30'47"

LINE	BEARING	DISTANCE
L1	S 84°09'02" W	60.49
L2	N 77°51'24" E	11.04
L3	N 76°50'08" E	61.10
L4	S 76°50'08" W	106.30
L5	S 40°12'30" E	51.84
L6	S 67°24'43" W	11.66
L7	N 67°24'43" W	11.66
L8	N 40°12'30" W	17.53
L9	N 13°09'52" W	7.70
L10	N 40°12'30" E	51.84
L11	S 67°24'43" E	57.68
L12	N 76°50'08" E	42.60
L13	S 67°24'43" E	38.70
L14	N 76°50'08" W	106.30
L15	S 76°50'08" W	106.30
L16	N 76°50'08" E	106.30
L17	N 72°13'40" W	60.00

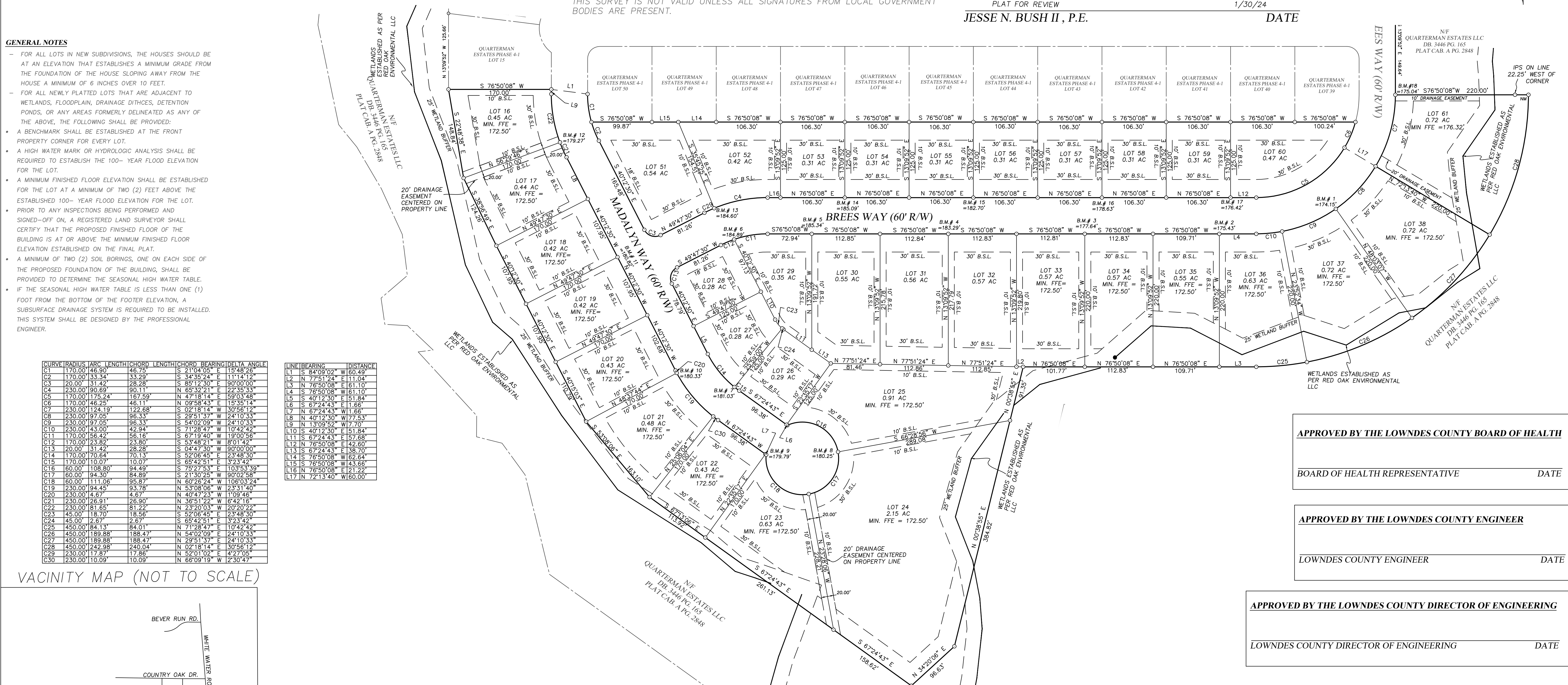
VACINITY MAP (NOT TO SCALE)



WE THE UNDERSIGNED OWNER(S) OF QUARTERMAN ESTATES PHASE 4 DEPICTED HEREON HEREBY OFFER TO DEDICATE AND/OR RESERVE FOR PUBLIC USE THE RIGHTS OF WAYS AND EASEMENTS AS SHOWN ON THIS PLAT.

OWNERS _____ DATE _____

OWNERS _____ DATE _____



APPROVED BY THE LOWNDES COUNTY BOARD OF HEALTH

BOARD OF HEALTH REPRESENTATIVE _____ DATE _____

APPROVED BY THE LOWNDES COUNTY ENGINEER

LOWNDES COUNTY ENGINEER _____ DATE _____

APPROVED BY THE LOWNDES COUNTY DIRECTOR OF ENGINEERING

LOWNDES COUNTY DIRECTOR OF ENGINEERING _____ DATE _____

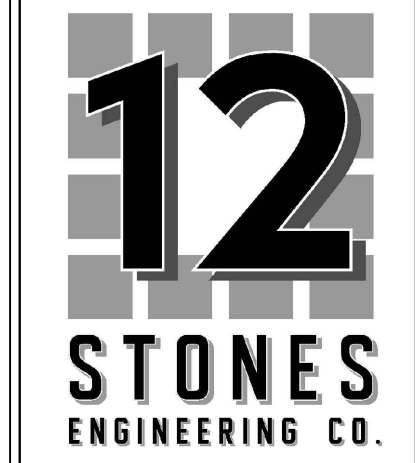
SURVEYOR'S CERTIFICATE

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR. THIS PLAT HAS BEEN APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS THAT REQUIRE PRIOR APPROVAL FOR RECORDING THIS TYPE OF PLAT OR ONE OR MORE OF THE APPLICABLE JURISDICTIONS DO NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT. FOR ANY APPLICABLE LOCAL JURISDICTION THAT DOES NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT, THE NAMES OF THE INDIVIDUALS SIGNING OR APPROVING THIS PLAT, THE AGENCY OR OFFICE OF THAT INDIVIDUAL, AND THE DATE OF APPROVAL ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. FOR ANY APPLICABLE LOCAL JURISDICTION THAT DOES NOT REQUIRE APPROVAL OF THIS TYPE OF PLAT, THE NAME OF SUCH LOCAL JURISDICTION AND THE NUMBER OF THE APPLICABLE ORDINANCE OR RESOLUTION PROVIDING THAT NO SUCH APPROVAL IS REQUIRED ARE LISTED IN THE APPROVAL TABLE SHOWN HEREON. SUCH APPROVALS, AFFIRMATIONS, OR ORDINANCE OR RESOLUTION NUMBERS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

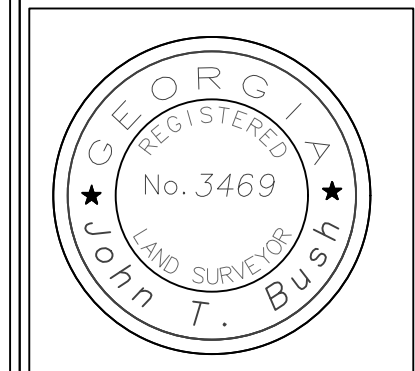
PLAT FOR REVIEW 1/30/24
John T. Bush, GA RLS NO. 3469 DATE

REVISION	DATE

QUARTERMAN ESTATES PHASE 4-2
SUBDIVISION PLAT FOR:
LOCATED IN LAND LOT 66
16th LAND DISTRICT
LOWNDES COUNTY, GEORGIA
JANUARY 12, 2024



2944 DASHER JOHNSON RD
VALDOSTA GA 31606
PH:(229)474-4060
EMAIL:JTBUSH@12STONES.BIZ
GA REGISTERED FIRM
No:LSFO1361



DRAWN BY: JTB
CHECKED BY: JTB

PROJECT NO. 23012

SHEET	OF
1	1

RESOLUTION

WHEREAS, the developer, Quarterman Estates, LLC has completed improvements on Quarterman Estates West Phase 4 Section 2; and

WHEREAS, Quarterman Estates, LLC. has provided the necessary maintenance bond and certification that the improvements were built according to plans and specifications;

WHEREAS, Engineering Services and Utilities has inspected the improvements;

WHEREAS, Quarterman Estates, LLC. has provided a written request for Lowndes County to accept the infrastructure and residential streets in Quarterman Estates West Phase 4 Section 2 as County maintained streets;

NOW, THEREFORE BE IT RESOLVED, the Board of Commissioners of Lowndes County has agreed to accept this infrastructure and street as county maintained with a speed limit of 25 mph on this date as shown:

ATTEST: _____
County Clerk

DATE: _____

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: Clyattville Tower Replacement

DATE OF MEETING: February 13, 2024

Work Session/Regular Session

BUDGET IMPACT: \$47,884.00

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: Clyattville Tower Replacement

HISTORY, FACTS AND ISSUES: During Hurricane Idalia, the Clyattville tower was destroyed. This tower provided all connectivity for the Clyattville Fire Department, to include telephony, computer network connections, and video. Attached is the quote to replace the tower with grounding and labor to restore connectivity to this location.

OPTIONS: 1. Approve
2. Board's Pleasure

RECOMMENDED ACTION: Board's Pleasure

DEPARTMENT: ITS

DEPARTMENT HEAD: Aaron Kostyu

ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

Estimate

Tower Services of South Georgia, LLC

3028 Moore Crossing Rd
Valdosta, Ga. 31606

Date	Estimate No.
02/06/2024	1487
Phone #	229-292-5474
Fax #	229-242-3191

To:

Lowndes Information Technology Services PO Box 1349 Valdosta Ga 31603-1349
--

terrycreasy@towerservicesofsouthgeorgia.com

Site Name
Clyattville

Qty	Item Code	Description	Price Each	Total
		Foundation (Pier & Pad)		
120	Hrs Labor		60.00	7,200.00
	Subcontractor	Dig Foundation 16' x 16' x 5', Backfill, Remove or Spread Excess Dirt.	3,000.00	3,000.00
20	#4 Rebar	20 Ft.	14.00	280.00
56	#6 Rebar	20 Ft	25.00	1,400.00
1	Tube	20 ft Concrete Encasement Form	270.00	270.00
18	Yds /4000 Lb	Concrete 4000 PSI	138.00	2,484.00
	Misc	Forms Boards and Hardware If Needed	450.00	450.00
	Tower	Rohn 120 ft Self Supporting Solid Leg Tower	25,398.00	25,398.00
60	Hrs Labor	Assemble Tower, Stack Tower, Install dish and cat 5 cable	60.00	3,600.00
	Crane	Rental	1,600.00	1,600.00
20	Hrs Labor	Ground Tower	60.00	1,200.00
200	#2 Solid Copper	Bare	1.86	372.00
10	Ground Rod 5/8	8 Ft	15.00	150.00
12	Cad Weld Shot		15.00	180.00
1	Backhoe	Days Rental	300.00	300.00
Total				\$47,884.00

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: Bid to Repair Buildings at the 4-H Camp

DATE OF MEETING: February 13, 2024

Work Session/Regular Session

BUDGET IMPACT: \$9,613.50

FUNDING SOURCE:

- Annual
- Capital
- FEMA
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: Bid to Repair Buildings at the 4-H Camp

HISTORY, FACTS AND ISSUES: Lowndes County solicited bids to repair damaged buildings at the 4-H Camp due to Hurricane Idalia. FEMA will be reimbursing Lowndes County for approximately 87% of the repairs. We received two bids that met the specifications.

Artesian Contracting Company	Albany, GA	\$ 73,950.00
Kellerman Construction	Valdosta, GA	\$106,624.00

OPTIONS: 1. Award the bid to Artesian Contracting Company.
2. Board's Pleasure.

RECOMMENDED ACTION: Option 1

DEPARTMENT: Finance

DEPARTMENT HEAD: Stephanie Black

ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS:

LOWNDES COUNTY BOARD OF COMMISSIONERS
COMMISSION AGENDA ITEM

SUBJECT: Bid to Repair the Governmental Building's Roof

DATE OF MEETING: February 13, 2024

Work Session/Regular Session

BUDGET IMPACT: \$2,584.92

FUNDING SOURCE:

- Annual
- Capital
- N/A
- SPLOST
- TSPLOST

COUNTY ACTION REQUESTED ON: Bid to repair Governmental Building Roof

HISTORY, FACTS AND ISSUES: Lowndes County solicited bids to repair damaged portions of the Lowndes County Governmental Building, due to Hurricane Idalia. FEMA will be reimbursing Lowndes County for approximately 87% of the repairs. We received one bid that met the specifications.

Chuck Smith & Son Construction Valdosta, GA \$ 19,884.00

OPTIONS: 1. Award the bid to Chuck Smith & Son Construction, Inc.
2. Board's Pleasure.

RECOMMENDED ACTION: Option 1

DEPARTMENT: Finance

DEPARTMENT HEAD: Stephanie Black

ADMINISTRATIVE COMMENTS AND RECOMMENDATIONS: